



HILLINGDON  
LONDON



## **VIRTUAL** North Planning Committee

### To Councillors on the Committee

Councillor Edward Lavery (Chairman)  
Councillor Henry Higgins (Vice-Chairman)  
Councillor Jas Dhot  
Councillor Becky Haggar  
Councillor Carol Melvin BSc (Hons)  
Councillor John Oswell  
Councillor John Morgan  
Councillor Allan Kauffman  
Councillor Jagjit Singh

**Date:** WEDNESDAY, 16  
SEPTEMBER 2020

**Time:** 6.00 PM

**Location:** VIRTUAL MEETING

**Watch Live** Watch a live broadcast of this meeting on the Council's YouTube channel: [Hillingdon London](#)

**Important Meeting Advice:** Following UK Government advice to avoid all but essential travel and to practice social distancing, the usual physical public speaking rights at Planning Committee will be suspended temporarily during the coronavirus pandemic. Instead, written representations will be considered as part of Hillingdon's established Petitions Scheme.

**Published:** Tuesday, 8 September 2020

**Contact:** Democratic Services  
Telephone 01895 250636 or email  
(recommended): [democratic@hillingdon.gov.uk](mailto:democratic@hillingdon.gov.uk)

Lloyd White  
Head of Democratic Services  
London Borough of Hillingdon,  
Phase II, Civic Centre, High Street, Uxbridge, UB8 1UW

**Putting our residents first**

# Agenda

---

## Chairman's Announcements

- 1 Apologies for Absence
- 2 Declarations of Interest in matters coming before this meeting
- 3 To sign and receive the minutes of the previous meeting 1 - 6
- 4 Matters that have been notified in advance or urgent
- 5 To confirm that the items of business marked Part 1 will be considered in public and that the items marked Part 2 will be considered in private

## PART I - Members, Public and Press

Items are normally marked in the order that they will be considered, though the Chairman may vary this. The name of the local ward area is also given in addition to the address of the premises or land concerned.

---

## Applications with a Petition

	Address	Ward	Description & Recommendation	Page
6	Land to the rear of 18 Moor Park Road, Northwood –  21577/APP/2020/1792	Northwood	Erection of a detached 5 x bed dwelling with associated parking and amenity space with new crossover to Grove Road.  <b>Recommendation: Refusal</b>	7 - 22  97 - 107
7	Land to the side of 17 Woodside Road, Northwood –  29754/APP/2020/1397	Northwood Hills	Erection of a detached two storey 4 x bed house with associated parking and amenity space including the demolition of existing double garage  <b>Recommendation: Approval</b>	23 – 42  108 - 117

8	Telecommunications at Jun Bridle Road & Cheney Street, Bridle Road, Eastcote –  75666/APP/2020/2552	Eastcote & East Ruislip	Installation of 20m monopole and 3 equipment cabinets, and associated ancillary works (Application under Part 16 of Schedule 2 to the Town and Country Planning (General Permitted Development) Order 2015 (as amended) for determination as to whether prior approval is required for siting and appearance).  <b>Recommendation: Refusal</b>	43 – 54  118 - 127
---	---	-------------------------	--	--------------------------

### Applications without a Petition

	Address	Ward	Description & Recommendation	Page
9	Land at Garage Block Southbourne Gardens, Ruislip –  72211/APP/2020/1728	Cavendish	Three storey building comprising 6 x 2-Bedroom flats with associated car and cycle parking and amenity space, involving demolition of existing garages  <b>Recommendation: Approval + S106</b>	55 – 72  128 - 136
10	Hume Way, Ruislip –  54873/APP/2020/2457	Eastcote & East Ruislip	Installation of a 20m monopole, 12 no. antenna apertures, equipment cabinets and ancillary reworks thereto (Application under Part 16 of Schedule 2 to the Town and Country Planning (General Permitted Development) Order 2015 (as amended) for determination as to whether prior approval is required for siting and appearance).  <b>Recommendation: Refusal</b>	73 – 88  137 - 143

### PART II - Members Only

*That the reports in Part 2 of this agenda be declared not for publication because they involve the disclosure of information in accordance with Section 100(A) and Part 1 of Schedule 12 (A) to the Local Government Act 1972 (as amended), in that they contain exempt information and that the public interest in withholding the information outweighs the public interest in disclosing it.*



# Agenda Item 3

## Minutes



NORTH Planning Committee

20 August 2020

Meeting held at VIRTUAL - Live on the Council's YouTube channel: Hillingdon London

	<p><b>Committee Members Present:</b> Councillors Eddie Lavery (Chairman), Henry Higgins (Vice-Chairman), Jas Dhot, Carol Melvin, John Oswell, John Morgan, Jagjit Singh and Steve Tuckwell (In place of Becky Haggar)</p> <p><b>LBH Officers Present:</b> Neil Fraser (Democratic Services Officer), James Rodger (Head of Planning, Transportation and Regeneration), Glen Egan (Office Managing Partner - Legal Services), Zenab Haji-Ismail (Principal Planning Officer) and Alan Tilly (Transport, Planning and Development Manager)</p>
51.	<p><b>APOLOGIES FOR ABSENCE</b> (<i>Agenda Item 1</i>)</p> <p>Apologies were received from Councillor Haggar, with Councillor Tuckwell present as her substitute.</p>
52.	<p><b>DECLARATIONS OF INTEREST IN MATTERS COMING BEFORE THIS MEETING</b> (<i>Agenda Item 2</i>)</p> <p>Councillor Melvin declared a non-pecuniary interest in respect of item 6, 5-6 Firs Walk, as she had been involved with the original application alongside residents. Councillor Melvin remained in the meeting but took no part in discussion or voting for this item.</p>
53.	<p><b>TO SIGN AND RECEIVE THE MINUTES OF THE PREVIOUS MEETING</b> (<i>Agenda Item 3</i>)</p> <p><b>RESOLVED:</b> That the minutes of the meeting held on 14 July 2020 be approved as a correct record.</p>
54.	<p><b>MATTERS THAT HAVE BEEN NOTIFIED IN ADVANCE OR URGENT</b> (<i>Agenda Item 4</i>)</p> <p>It was confirmed that items 6, 7 and 11 had been withdrawn prior to the meeting.</p>
55.	<p><b>TO CONFIRM THAT THE ITEMS OF BUSINESS MARKED PART 1 WILL BE CONSIDERED IN PUBLIC AND THAT THE ITEMS MARKED PART 2 WILL BE CONSIDERED IN PRIVATE</b> (<i>Agenda Item 5</i>)</p> <p>It was confirmed that items 1-12 would be considered in public, and that items 13-14 would be considered in private.</p>
56.	<p><b>5-6 FIRS WALK - 30837/APP/2020/1723</b> (<i>Agenda Item 6</i>)</p>

Officers introduced the report, confirming that the proposal would provide a net increase in two family dwellinghouses, which was a material planning consideration in favour of the development. However, the weight to be afforded this had been considered in light of the Council's ability to demonstrate a five year land supply.

Officers asserted that the proposal would result in the significant loss of back garden land and the functions it served, in relation to local character, amenity space and the support of biodiversity. The benefit of two additional family dwellinghouses was not felt to outweigh the significant harm caused by the loss of the existing back garden land.

In addition, to enable the internal roads to be completed to serve two of the dwellings, works to the road at the end Foxdell would be required, and such work was not within the ability of the applicant. Instead, this would require intervention by the Council as highways authority. This would need to be the subject of a legal agreement, and while the applicant had submitted a late Unilateral Undertaking, this had subsequently been withdrawn by the applicant.

The addendum was highlighted, which clarified the petitioners' objections to the application.

For the reasons outlined within the Officer's report, the application was recommended for refusal.

A statement was read to the Committee on behalf of the petitioners objecting to the application, key points of which included:

- The petition reflects the concerns of many residents in the Dene Road area, 54 of whom signed the Petition. Additionally, 7 residents submitted individual letters objecting to the Application, raising in total some 24 points of objection.
- These objections are supported by the Dene Road Residents Association representing 120 households, as well as the Northwood Residents Association.
- The Dene Road area has been officially recognised and designated as an Area of Outstanding Local Character.
- The third application for this site within the past two years has changed little from the second application, which was rejected by the North Planning Committee on 17 June 2020.
- The main reasons for the rejection of the second application have not been addressed in the third application, and the report recommends refusal for the same reasons as that of the second application, i.e. loss of gardens at odds with surrounding area, a cramped form detrimental to visual amenity, character and appearance of the area, as well as the lack of a Section 106 agreement for accessing the site from Foxdell.
- The application claims to maintain the building line with adjacent houses in Foxdell and Firs Walk. However, this is at odds with the "Indicative Site Layout Plan" with the houses set to the fore of existing houses.
- The forward-facing garage spurs are also not in line with the garages of the existing houses.
- The plan also shows large crown roofs which are not supported by DMHD 1 (B-viii). This is a non-traditional roofing form and not sympathetic to the traditionally designed houses in the immediate locality.
- The application states that no trees will be affected by the proposal, however three 80-year-old trees were felled on the property no. 6 Firs Walk in April 2018, just before the submission of the first application, and thus there are no guarantees that further environmental destruction will not be carried out.

- Approval of the application would be in contravention of many of Hillingdon's planning policies (e.g. DMH6, DHMB 11, DHMB 14, BE1 section 2 and 9, BE19, EM4) and would also contravene the decisions made by this Committee against the previous two applications and by the Inspector appointed on the appeal of the first application (which was dismissed.)
- The report identifies the lack of a Section 106 Agreement for works required to connect the site to the end of Foxdell, which the application fails to mention. As set out in the report, a Letter before Action was issued to Hillingdon by the owners of nos. 6, 8, 11, and 13 Foxdell on 22 November 2019, giving details of the challenge which is founded on the strong belief that the road between their properties is not part of the public highway.
- The effect of the challenge, if upheld, would be that there would be no public right of way over that section of Foxdell, which would therefore not provide access to the proposed development. The Council has not yet responded to the Letter before Action and arguments such as those set out in the first paragraph of the Report's Section 7.10 have not yet been subject to scrutiny, assessment and counter-argument.
- Access is restricted from Firs Walk, a privately-owned narrow lane that is not a public highway. Its tight 90 degrees turn would render any construction traffic impossible, and any increase in traffic by the development's residents would neither be safe nor permitted by all the owners of the road. Access suitability and safety are a planning consideration (DHMB 12).

Members supported the office's recommendation for the reasons set out in the report. The recommendation was moved, seconded, and when put to a vote, unanimously agreed.

**RESOLVED: That the application be refused.**

57.	<p><b>LAND ADJ TO 38 TORCROSS ROAD - 75724/APP/2020/2194</b> (<i>Agenda Item 7</i>)</p> <p><b>Item withdrawn.</b></p>
58.	<p><b>26 BROADWOOD AVENUE - 16080/APP/2020/1579</b> (<i>Agenda Item 8</i>)</p> <p><b>Item withdrawn.</b></p>
59.	<p><b>173 FIELD END ROAD - 39825/APP/2020/1256</b> (<i>Agenda Item 9</i>)</p> <p>Officers introduced the report, confirming that the proposal would not involve the loss of a retail unit falling into Use Class A1, nor would the application result in an over concentration of public houses uses within the Primary Shopping Area. No external changes were proposed, and any future external alterations would require a separate planning application.</p> <p>The application sought to establish the acceptability of the change of use, and the applicant had confirmed that the pub was not seeking to operate a kitchen. It was recommended that a number of conditions be attached to ensure the proposed change of use did not adversely impact on neighbours' amenity.</p> <p>The addendum was highlighted, which proposed to omit Condition 5 (cycle parking), as this condition was considered onerous for the scale and nature of the development proposed.</p> <p>For the reasons set out in this report, the application was recommended for approval.</p>

Members supported the officer's recommendation for the reasons set out in the report. The recommendation was moved, seconded, and when put to a vote, unanimously agreed.

**RESOLVED: That the application be approved.**

60. **77A SWAKELEYS ROAD - 75522/APP/2020/1195** (*Agenda Item 10*)

(Councillor Morgan joined the meeting)

Officers introduced the report, confirming that whilst the proposed development would result in the loss of a residential unit, it would retain and improve a health service use in a town centre location, and as such, the proposal was considered to be acceptable in principle. The majority of the works were internal and the proposed external alterations were modest in scale, and would not impact on the appearance of the existing building or the character of the Conservation Area, nor would the proposal harm the amenity of the neighbouring properties. For the reasons set out within the officer's report, the application was recommended for approval.

Members supported the officer's recommendation for the reasons set out in the report. The recommendation was moved, seconded, and when put to a vote, unanimously agreed.

**RESOLVED: That the application be approved.**

61. **LAND AT 59 NORTHWOOD WAY - 75677/APP/2020/2064** (*Agenda Item 11*)

**Item withdrawn.**

62. **LONDON BOROUGH OF HARROW - LAND REAR OF 53-55 CUCKOO HILL ROAD, PINNER - 39703/APP/2020/2159** (*Agenda Item 12*)

Officers introduced the report, and confirmed that application had the potential to impact the London Borough of Hillingdon as the site was constrained and the proposed plans failed to show adequate access to the site.

The proposal relied on a public footpath was narrow and unlit. The red line plan appeared to be incorrect, and the applicant appears to have failed to serve notice on the landowner responsible for the footpath that would provide access to the site. The proposed development would result in the loss of garden area for an existing residential property and it is an uncharacteristic form of development that would be harmful to the character and appearance of the street scene and the wider area.

For these reasons, officers recommended that an objection be raised to the application, and a request be made to the London Borough of Harrow that the application be refused.

Members supported the officer's recommendation for the reasons set out in the report. The recommendation was moved, seconded, and when put to a vote, unanimously agreed.

**RESOLVED: That the London Borough of Hillingdon formally object to the application.**

63.	<p><b>ENFORCEMENT REPORT</b> (<i>Agenda Item 13</i>)</p> <p><b>RESOLVED:</b></p> <ol style="list-style-type: none"> <li>1. That the enforcement action, as recommended in the officer's report, was agreed; and,</li> <li>2. That the Committee resolved to release their decision and the reasons for it outlined in the report, into the public domain, solely for the purposes of it issuing the formal beach of condition notice to the individual concerned.</li> </ol> <p>This item is declared as exempt from publication as it involves the disclosure of information in accordance with Section 100(A) and <b>paragraphs 1, 2 and 7</b> of Part 1 of Schedule 12 (A) to the Local Government Act 1972 (as amended), in that the report contains <b>information relating to any individual, information likely to reveal the identity of an individual and information relating to any action taken or to be taken in connection with the prevention, investigation or prosecution of crime</b> and that the public interest in withholding the information outweighs the public interest in disclosing it.</p>
64.	<p><b>ENFORCEMENT REPORT</b> (<i>Agenda Item 14</i>)</p> <p><b>RESOLVED:</b></p> <ol style="list-style-type: none"> <li>1. That the enforcement action, as recommended in the officer's report, was agreed; and,</li> <li>2. That the Committee resolved to release their decision and the reasons for it outlined in the report, into the public domain, solely for the purposes of it issuing the formal beach of condition notice to the individual concerned.</li> </ol> <p>This item is declared as exempt from publication as it involves the disclosure of information in accordance with Section 100(A) and <b>paragraphs 1, 2 and 7</b> of Part 1 of Schedule 12 (A) to the Local Government Act 1972 (as amended), in that the report contains <b>information relating to any individual, information likely to reveal the identity of an individual and information relating to any action taken or to be taken in connection with the prevention, investigation or prosecution of crime</b> and that the public interest in withholding the information outweighs the public interest in disclosing it.</p>
	<p>The meeting, which commenced at 6.00 pm, closed at 6.31 pm.</p>

These are the minutes of the above meeting. For more information on any of the resolutions please contact Democratic Services on Telephone 01895 250636 or email (recommended): [democratic@hillingdon.gov.uk](mailto:democratic@hillingdon.gov.uk). Circulation of these minutes is to Councillors, Officers, the Press and Members of the Public.

**The public part of this meeting was filmed live on the Council's YouTube Channel to increase transparency in decision-making, however these minutes remain the official and definitive record of proceedings.**

This page is intentionally left blank

## Report of the Head of Planning, Transportation and Regeneration

**Address** LAND TO REAR OF 18 MOOR PARK ROAD NORTHWOOD

**Development:** Erection of a detached 5 x bed dwelling with associated parking and amenity space with new crossover to Grove Road.

**LBH Ref Nos:** 21577/APP/2020/1792

**Drawing Nos:** J3745-D-00 - Rev A  
J3745-D-01 Rev A  
J3745-D-02  
J3745-D-03  
J3745-D-04  
J3745-D-05  
J3745-D-06  
J3745-D-0S  
Design and Access Statement  
Arboricultural Impact Assessment

**Date Plans Received:** 12/06/2020                      **Date(s) of Amendment(s):**

**Date Application Valid:** 06/07/2020

### 1. SUMMARY

The application seeks permission for the erection of a detached 5 x bed dwelling with associated parking and amenity space with new crossover to Grove Road.

The proposed dwelling is of a design and form that would be out of keeping with the historic character of the area and would result in a cramped form of development and an unacceptable intensification of the existing site to the detriment of the character and appearance of the wider street scene. The proposal also fails to make adequate provision for the retention and long term protection of off site trees.

It is therefore recommended for refusal.

### 2. RECOMMENDATION

**REFUSAL for the following reasons:**

#### 1 NON2 Non Standard reason for refusal

The proposed development, by reason of its siting and layout would result in a development of the site, which would fail to harmonise with the existing local and historic context of the surrounding area. The principle of intensifying the residential use of the site as proposed, as well as the proposed loss of existing private rear garden area would have a detrimental impact on the street scene and character and appearance of the area as a whole. The proposal is therefore detrimental to the visual amenity and character of the surrounding area and contrary to Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policy DMHB 11 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020), Policies 3.5, 7.1 and 7.4 of the London Plan (2016), guidance within The London Plan Housing Supplementary Planning Guidance (March 2016), the NPPF.

## 2 NON2 Non Standard reason for refusal

The application fails to demonstrate that the development will safeguard existing trees on/adjoining the site in as much that trees, shrubs and wildlife habitat cannot be retained or re-provided in the residual garden spaces and further fails to demonstrate protection for and long-term retention of the trees. The proposal is therefore detrimental to the visual amenity of the street scene and the wider area contrary to Policies DMH 6 Policy and DMHB 14 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020)

### INFORMATIVES

#### 1 I59 Councils Local Plan : Part 1 - Strategic Policies

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant Local Plan Part 2 (2020), then London Plan Policies (2016). Hillingdon's Full Council adopted the Hillingdon Local Plan: Part 1 - Strategic Policies on 8 November 2012 and the Hillingdon Local Plan Part 2 on 16 January 2020.

#### 2 I71 LBH worked applicant in a positive & proactive (Refusing)

In dealing with the application the Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies from the Local Plan Part 1, Local Plan Part 2, Supplementary Planning Documents, Planning Briefs and other informal written guidance, as well as offering a full pre-application advice service. We have however been unable to seek solutions to problems arising from the application as the principal of the proposal is clearly contrary to our statutory policies and negotiation could not overcome the reasons for refusal.

### 3. CONSIDERATIONS

#### 3.1 Site and Locality

The application site comprises part of the rear garden of 18 Moor Park Road. The site is located on the eastern side of Grove Road and is bordered to the north by 2 Grove Road and to the east by the rear garden of 16 Moor Park Road. As existing, the house is located in a large mature garden plot, with a number of trees along the side and rear boundaries and is enclosed along Grove Road by a tall wooden fence. The principal elevation of the existing house fronts Moor Park Road to the south. The site is not affected by any other designations including Conservation Areas and Areas of Special Local Character.

#### 3.2 Proposed Scheme

The application seeks planning permission for the erection of a detached 5 x bed dwelling with associated parking and amenity space with new crossover to Grove Road.

#### 3.3 Relevant Planning History

74971/APP/2019/3169 Land To Rear Of 18 Moor Park Road Northwood

The erection of a new pair of semi-detached dwellings, together with the formation of two new vehicle crossovers onto Grove Road

**Decision:** 22-01-2020 Refused

74971/PRC/2019/156 Land To Rear Of 18 Moor Park Road Northwood

Erection of pair of semi-detached dwellings together with the formation of two new vehicular crossovers onto Grove Road

**Decision:** 08-11-2019 OBJ

### **Comment on Relevant Planning History**

74971/APP/2019/3169 - The erection of a new pair of semi-detached dwellings, together with the formation of two new vehicle crossovers onto Grove Road - Refused 28/1/2020 for the following reasons

1. The proposed development, by reason of its siting and layout would result in a development of the site, which would fail to harmonise with the existing local and historic context of the surrounding area. The principle of intensifying the residential use of the site as proposed, as well as the proposed loss of existing private rear garden area would have a detrimental impact on the street scene and character and appearance of the area as a whole. The proposal is therefore detrimental to the visual amenity and character of the surrounding area and contrary to Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies BE13 and BE19 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012), Policy DMHB 11 of the emerging Hillingdon Local Plan: Part Two - Development Management Policies with Modifications (March 2019), Policies 3.5, 7.1 and 7.4 of the London Plan (2016), guidance within The London Plan Housing Supplementary Planning Guidance (March 2016), the NPPF and to the Council's adopted Supplementary Planning Document HDAS: Residential Layouts..

2. The proposed development, by reason of its siting, size, scale, bulk and design, including the crown roof form, gabled gables, tile hung and exposed brickwork would be a stark contrast to the predominant rendered appearance of the dwellings along Grove Road and would fail to harmonise with the character and architectural composition of surrounding properties, appearing as an awkward, incongruous and cramped form of development which would be detrimental to the visual amenity of the street scene and harmful to the character and appearance of the surrounding area, contrary to Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and Policies BE13 and BE19 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012), Policies DMHB 11 and DMHB 12 of the emerging Hillingdon Local Plan: Part Two - Development Management Policies with Modifications (March 2019) and to the Council's adopted Supplementary Planning Document HDAS: Residential Layouts.

3. The proposal has not demonstrated that sufficient off street parking/manoeuvring arrangements would be provided, and therefore the development is considered to result in substandard car parking provision, leading to on-street parking/queuing to the detriment of public and highway safety and contrary to Policies AM7 and AM14 of the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012), Policies DMT 2 and DMT 6 of the emerging Hillingdon Local Plan: Part Two - Development Management Policies with Modifications (March 2019), to Hillingdon's Adopted Parking Standards as set out in the Hillingdon Local Plan: Part Two - Unitary Development Plan Saved Policies (November 2012) and the adopted Supplementary Planning Document HDAS: Residential Layouts.

4. In the absence of a Tree Survey and Arboricultural Implication Assessment to BS5837:2012 standards, the application has failed to demonstrate that the development

will safeguard existing trees on/adjoining the site and further fails to demonstrate protection for and long-term retention of the trees. The proposal is therefore detrimental to the visual amenity of the street scene and the wider area contrary to Policies BE19 and BE38 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012), Policy DMHB 14 of the emerging Hillingdon Local Plan: Part Two - Development Management Policies with Modifications (March 2019) and the adopted Supplementary Planning Document HDAS: Residential Layouts.

#### **4. Planning Policies and Standards**

The application will be assessed against policies within the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Hillingdon Local Plan: Part Two - Development Management Policies (January 2020), The London Plan (2016), The Housing Standards Minor Alterations to The London Plan (March 2016), Mayor of London's adopted Supplementary Planning Guidance - Housing (March 2016), Technical Housing Standards - Nationally Described Space Standard and the National Planning Policy Framework

#### **UDP / LDF Designation and London Plan**

The following Local Plan Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

DMH 6 Garden and Backland Development

DMHB 11 Design of New Development

DMHB 12 Streets and Public Realm

DMHB 14 Trees and Landscaping

DMHB 16 Housing Standards

DMHB 18 Private Outdoor Amenity Space

DMT 2 Highways Impacts

DMT 6 Vehicle Parking

LPP 3.3 (2016) Increasing housing supply

LPP 3.4 (2015) Optimising housing potential

LPP 3.5 (2016) Quality and design of housing developments

LPP 3.8 (2016) Housing Choice

LPP 6.3 (2016) Assessing effects of development on transport capacity

LPP 6.9 (2016) Cycling

LPP 6.13 (2016) Parking

LPP 7.4 (2016) Local character

LPP 7.5 (2016) Public realm

LPP 7.6 (2016) Architecture

NPPF- 2 NPPF-2 2018 - Achieving sustainable development

NPPF- 5 NPPF-5 2018 - Delivering a sufficient supply of homes

## 5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

## 6. Consultations

### External Consultees

11 neighbouring properties were consulted by letter dated 3/7/2020. The consultation period expired on 24/7/2020

7 written representations and a petition with 34 valid signatories have been received objecting to the proposal summarised as follows: -

1. Backland development
2. Out of character with the surrounding area
3. Will close the open nature of this corner plot
4. Possibility of damage to mature trees
5. Loss of outlook
6. Loss of a private garden
7. Over development of the site
8. Building in front of the established building line
9. Proximity to site boundaries
10. Noise and disruption during construction
11. Increased air pollution
12. Strain on current water and drainage supplies
13. Will lead to a higher population density

Officer response - concerns 1 to 9 raised above will be addressed within the body of this report. Concerns 10 to 13 raised are generally dealt with under other legislation.

The Northwood Residents Association commented as follows: -

The NRA is objecting to the proposal because we are of the view that the proposed development fails to comply with the following policies:

DMH 6 : The proposal relates to backland because it is the rear garden of an existing property and has not been previously developed. It is not sufficiently intimate in mass (iii) and several trees are to be removed that will impact on the neighbouring properties (iv). Therefore, we are of the view that the proposed development would constitute a piecemeal form of backland development and would fail to maintain the open and verdant character and appearance of the road.

DMHD 1: Whilst the property at 1a Grove Road was given consent to replace an existing bungalow, the houses in this part of Grove Road are built on that side of the road only. This would be the only house built on this side of Grove Road so would adversely impact the amenity value of the area,

DMHB 18 : Whilst the amenity space is above the minimum for a four bedroom house, this will actually be a six bedroom house given the games room in the loft which could be used as the sixth bedroom. The proposed amenity space is below the level for comparable sized houses in the immediate locality which makes the resulting sites of both 18 Moor Park Road and the proposed property relatively cramped for the locality. In addition: There is limited on-site car parking and limited landscaping to the frontage, and also limited visitor's car parking whilst there are parking restrictions on the roads around the proposed house. The minimum parking and amenity requirements are

Borough wide and so keeping to or close to the minimum requirements in this location of larger houses and amenity space than the average in the Borough cumulatively adds to the cramped feeling of the site with the proposed six bedrooms and so likely to need more than the minimum as well as assimilate with what is the norm for the immediately surrounding area.

There are proposed two crossovers but current LBH policy is that only one crossover will be permitted per property and requests for additional crossovers will be rejected. Whilst not specifically against the second crossover as a planning matter, here it points towards the relative overdevelopment because of a lack of space to the front of the house but that moving the house back would reduce the amount of amenity space provided to the rear.

Officer response - noted and the above comments will be addressed in the body of this report

### **Internal Consultees**

See Sections 07.10 and 07.14 of this report

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

The London Plan (2016) provides guidance on how applications for development on garden land should be treated within the London Region. The thrust of the guidance is that back gardens can contribute to the objectives of a significant number of London Plan policies and these matters should be taken into account when considering the principle of such developments. Policy 3.5 of the London Plan supports development plan-led presumptions against development on back gardens where locally justified by a sound local evidence base.

The Mayor's Housing Supplementary Planning Guidance, also provides further guidance on the interpretation of existing policies within the London Plan as regards garden development. Paragraph 1.2.44 advises that when considering proposals which involve the loss of gardens, regard should be taken of the degree to which gardens contribute to defining local context and character (Policy 7.4 and 3.5), especially in outer London where gardens are often a key component of an area's character (Policies 2.6). The contribution gardens make towards biodiversity also needs to be considered (Policies 7.19 and 7.21) as does their role in mitigating flood risk (Policies 5.12 and 5.13).

The NPPF (July 2018) at paragraph 70, advises that LPAs 'should consider the case for setting out policies to resist inappropriate development of residential gardens, for example where development would cause harm to the local area.'

Policy BE1 of the Hillingdon Local Plan: Part One - Strategic policies states that a high quality design should be achieved in all new buildings, alterations and extensions, and states that schemes should not result in the inappropriate development of gardens and green spaces that erode the character and biodiversity of suburban areas.

Policy DMH6: Garden and Backland Development of the Hillingdon Local Plan Part 2: Development Management Policies (January 2020) advises there is a presumption against the loss of gardens due to the need to maintain local character, amenity space and biodiversity. In exceptional cases a limited scale of backland development may be acceptable, subject to the following criteria:

- i) Neighbouring residential amenity and privacy of existing homes and gardens must be maintained
- ii) Vehicular access or car parking should not have an adverse impact on neighbours in terms of noise or light

- iii) Development on backland sites must be more intimate in mass and scale; and
- iv) Features such as trees, shrubs and wildlife habitat must be retained or re-provided

London Plan policy 3.5 recognises the contribution of gardens (especially back gardens) and suggests a presumption against their loss where it can be locally justified. Policy DMH 6 gives a presumption against the loss of gardens due to the need to maintain local character, amenity space and biodiversity. Only in exceptional cases will backland development be acceptable.

The proposal involves development of a garden site in a residential area characterised by family housing with large undeveloped rear gardens being a prevailing characteristic and the issues relating to its siting and impact on character and thus the principle of development are discussed below, suffice to say that the proposal constitutes an unacceptable form of garden and back land development.

The loss of what is a residential rear garden and the impact of the proposed dwelling on the immediate locality is considered to be detrimental to the character and appearance of the surrounding street scene. The infilling of the gap, which at present provides an important break in the built form, would appear out of character with the pattern, scale and form of development within the surrounding area. The proposal is thus unacceptable in principle.

#### **7.02 Density of the proposed development**

Policy 3.4 of the London Plan (2015) seeks to ensure that the new development takes into account local context and character, the design principles in Chapter 7 and public transport capacity development should optimise housing output for different types of location within the relative density range shown in Table 3.2. Development proposals which compromise this policy should be resisted.

The density matrix, however, is only of limited value when looking at small scale development such as that proposed with this application. In such cases, it is often more appropriate to consider how the development harmonises with its surroundings and its impact on adjoining occupiers.

#### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

Not applicable to this application.

#### **7.04 Airport safeguarding**

Not applicable to this application.

#### **7.05 Impact on the green belt**

Not applicable to this application.

#### **7.07 Impact on the character & appearance of the area**

Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) states that all new developments should achieve a high quality of design in all new buildings and the public realm contributes to community cohesion and a sense of place.

Policy DMHB 11 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) advises that all development will be required to be designed to the highest standards and incorporate principles of good design. It should take into account aspects including the scale of the development considering the height, mass and bulk of adjacent structures; building plot sizes and established street patterns; building lines and streetscape rhythm and landscaping. It should also not adversely impact on the amenity, daylight and sunlight of adjacent properties and open space.

The main body of the proposed building measuring 15.4m in width and a maximum of 8.5m in depth set beneath a hipped roof with a maximum height of 8.5m. To the front this includes a 5.9m wide two storey element with a gable end feature set under the centre of the main hipped roof together with a side element comprising an integral garage on the ground floor with bedroom above. There is a single storey rear extension element with a depth of 3.7m, a width of 6.5m and set under a flat roof. Three small dormers are proposed in the rear roof slope. The dwelling is set in from the proposed southern boundary by 600mm, 1 metre from the northern boundary and between 4.994m and 5.42m from the pavement to the Grove Road frontage. The submitted street scene indicates the scale of the dwelling would be generally consistent with others within the area.

In consideration of the form of development, it fails to follow the historic grain of the surrounding area. The houses along this stretch of road are defined by their painted rendered exterior and hipped pitched roof form. Their spacious plots and ample frontages relate to the suburban aesthetic of the surrounding area and original intent in which this part of Northwood had been developed in. The properties are comfortably positioned within their respective plots with ample gaps between the built forms maintaining a sense of rhythm along the road as well as providing a sense of openness to the street scene.

In comparison to neighbouring sites, the site area associated to the proposed property is significantly smaller with a limited rear garden, a minimal frontage and small gaps between the sites side boundaries, which would result in a cramped form of development and an unacceptable intensification of the existing site.

The eastern side of Grove Road is defined by close boarded fence line enclosing the rear gardens of no. 18 Moor Park Road and no. 2 Grove Road. The introduction of the proposed dwelling would disrupt the existing open, verdant character of the road. The development would appear as an isolated form along the eastern side, detrimentally altering the appearance of the street scene. Furthermore it would establish an unwelcome precedent within this area, which would erode its well defined character and appearance.

As such it is considered that the proposed development would be considered an incongruous addition within the area, which would fail to relate to the established local distinctiveness and would be out of keeping with the character and appearance of the streetscene. Therefore the proposal fails to comply with the requirements of Policy DMHB 11 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020)

## **7.08 Impact on neighbours**

Policy DMHB 11 states that any development should not have an adversary impact on the amenity, daylight and sunlight of adjacent properties and open space. Policy DMHD 1 requires that there is no unacceptable loss of outlook to neighbouring occupiers.

The proposed site plan identifies that the proposed dwelling would be situated between no. 18 Moor Park Road and 2 Grove Road, with the blank flank walls set back a minimum of 21.5m and 42.9m respectively. It is therefore considered that there is sufficient separation to prevent any significant impact on the neighbouring properties by virtue of over dominance, loss of light or loss of outlook, in compliance with adopted policy and guidance.

To the rear, the property would afford views over the end of the rear gardens of the neighbouring properties. To the north the properties along Grove Road are set some distance away, with a span at 21m within a 45 degree line of site a minimum of 55m away. Given the degree of separation it is not considered there would be a significant loss of

privacy to the occupants of those dwellings. To the south the nearest property at no. 16 Mood Park Road would be situated approximately 22.3m away at the nearest point, with a separation of approximately 34m on a 45 degree line of sight to their private patio area to the rear of the property. It is therefore considered that given the degree of separation the proposal would not result in a significant loss of privacy on the private garden area to the rear of that property.

It is therefore considered that the proposal would not significantly impact of the amenity of the adjoining neighbours by reason of significant loss of light, loss of outlook, sense of dominance or loss of privacy in accordance with Policies DMHB 11 and DMHD 1 of the Hillingdon Local Plan Part 2: Development Management Policies (January 2020)

#### **7.09 Living conditions for future occupiers**

On 25 March 2015, the Government introduced new technical housing standards in England, which comprise of new additional 'optional' Building Regulations on water and access, and a nationally described space standard (referred to as "the new national technical standards"). These new standards came into effect on 1 October 2015. The Mayor of London has adopted the new national technical standards through a minor alteration to The London Plan.

The Housing Standards (Minor Alterations to the London Plan) March 2016 sets out the minimum internal floor spaces required for developments in order to ensure that there is an adequate level of amenity for existing and future occupants. Policy DMHB 16: Housing Standards states that all housing development should have an adequate provision of internal space in order to provide an appropriate living environment. To achieve this all residential development or conversions should: i) meet or exceed the most up to date internal space standards, as set out in Table 5.1;

The proposal as presented would suggest a 5 bed property and a 5 bed 8 person property over 3 floors would require a minimum floor area of 134 sqm. The proposed floor area would exceed this requirement. It is noted that there is a 'games room' proposed in the roof space which could be used as a sixth bedroom however, even if this is taken into consideration and assessed as such, the internal floor space would still exceed the minimum internal floor space standards

It is considered that all the proposed habitable rooms, would have an adequate outlook and source of natural light, and therefore comply with the requirements of Policy 3.5 of the London Plan (2016).

Policy DMHB 18 of the emerging Hillingdon Local Plan: Part Two - Development Management Policies with Modifications (March 2019) advises all new residential development will be required to provide good quality and usable private outdoor amenity space. For a 4+ bed property a minimum provision of 100sqm would be required. The proposal includes a private amenity space of approximately 178sqm, which would exceed the required standard. The proposal would therefore comply with the requirements of Policy DMHB 18 of the emerging Hillingdon Local Plan: Part Two - Development Management Policies with Modifications (March 2019).

#### **7.10 Traffic impact, car/cycle parking, pedestrian safety**

Highways & Transportation commented as follows:-

Site Characteristics

The site is located in a residential catchment in Northwood within the rear garden area of a

corner property (No.18) which flanks Grove Road. One 5 bedroom detached residential unit is proposed to face the latter roadway with a new carriageway crossing facility.

The locality is devoid of parking controls and there are generous off-street parking facilities available for most of the surrounding residential properties in the area which assists in reducing general on-street parking demand.

#### Parking Provision

Local Plan: Part 2 Policy - DMT 6 requires that new development will only be permitted where it accords with the Council's adopted parking standards unless it can be demonstrated that a deviation from the standard would not result in a deleterious impact on the surrounding road network.

In order to comply with the adopted parking standard the maximum on-plot requirement demands up to 2 spaces. This has been provided with a suitably sized integral garage and frontage parking area thereby conforming to the standard. A single 'passive' and 'active' electric vehicle charging point provision is recommended which can be secured via planning condition.

In terms of cycle parking there should be a provision of at least 2 secure and accessible spaces for the new unit in order to conform to Hillingdon's cycle parking standard. It is likely that the 2 spaces would be accommodated within the integral garage however this is not confirmed so this requirement will need to be secured via planning condition.

#### New Carriageway Crossing on Grove Road

There is no 'in-principle' objection to a new carriageway crossing provision however there is no detail shown on plan hence a planning condition is required. The crossing should be dimensioned accordingly in line with the Council's carriageway crossing standard i.e. 2.44m at the back of footway and 5.78m (with taper kerbs) at the edge of kerb. Final provisions would be implemented to the Council's construction standard at the applicant's expense.

In safety terms effort should be made to maintain a low frontage wall treatment onto Grove Road in order to help ensure conformity to the relevant mutual inter-visibility sight-line requirements, as per DfT (Manual for Streets (MfS) circa 2007) best practice for new development road and parking layouts guidance, between vehicles leaving the site and extraneous vehicles/pedestrians on Grove Road itself. In order to assist with improving sight-lines at both site entrances for vehicles and pedestrians, it is therefore recommended that the front boundary wall height should not exceed 0.6m to achieve the aim of improved visibility. Again a planning condition is required as no detail is indicated.

#### Vehicular Trip Generation

Local Plan: Part 2 Policies - DMT 1 and DMT 2 require the Council to consider whether the traffic generated by proposed developments is acceptable in terms of the local highway and junction capacity, traffic flows and conditions of general highway or pedestrian safety.

The proposal would clearly increase traffic generation from what is a dormant site. However, statistically, peak period traffic movement into and out of the site would not be expected to rise beyond 1-2 two-way vehicle movements during the peak morning and evening hours. This potential uplift is considered marginal in generation terms and

therefore can be absorbed within the local road network without notable detriment to traffic congestion and road safety.

#### Operational Refuse Requirements

In order to conform to the Council's 'waste collection' maximum distance collection parameter of 10m i.e. distance from a refuse vehicle to the point of collection, arrangements should ensure that waste is positioned at a collection point within this set distance. A planning condition is required as no detail is indicated. There are no further observations.

#### Conclusion

The application has been reviewed by the Highway Authority who are satisfied that the proposal would not discernibly exacerbate congestion or parking stress, and would not raise any measurable highway safety concerns, in accordance with Local Plan Part 2 Development Plan Policies DMT 1, DMT 2 & DMT 6 and Policies 6.3, 6.9, and 6.13 of the London Plan (2016).

#### **7.11 Urban design, access and security**

These issues are covered in other sections of the report.

#### **7.12 Disabled access**

The Access Officer has advised that any grant of planning permission should include a condition requiring compliance with Category 2 M4(2) dwelling, as set out in Approved Document M to the Building Regulations (2010).

#### **7.13 Provision of affordable & special needs housing**

Not applicable to this application.

#### **7.14 Trees, Landscaping and Ecology**

Trees & Landscaping commented as follows: -

This site is occupied by part of the back garden of a two-storey detached house at the junction with Grove Road, which runs along the side (west) boundary. This end of the garden features a number of established trees and shrubs which, together with the vegetation on neighbouring sites, contributes to the character and appearance of the area. There are no TPO's or Conservation Area designations affecting the site.

#### COMMENT

A tree report by Mark Welby has identified and assessed 13 trees which are on, or close to, the site. There are no 'A' grade trees. Three trees are category 'B': T8, a Lawson cypress and two off-site trees T12 Prunus and T13 Fraxinus. There are 2 'U' grade trees - of poor condition and value which can be removed in the interests of good management. The remaining trees are category 'C'. Within the site, 9 trees will be removed to facilitate the development, including the one 'B' grade specimen, Lawson cypress. The only surviving tree / shrub will be a Common privet - an unrefined plant for a small garden. The remaining off-site trees on the north and east boundaries will benefit the setting of the site (as borrowed landscape), however, the ash is shown to oversail the small rear garden and is likely to become a nuisance - with likely pressure from future occupants to control the canopy spread. - At approximately 5-7 metres from the back of the proposed house, ash is an unsuitable (vigorous and high water demand) tree to have close to a building. While the loss of individual 'C' grade trees is not normally seen as a constraint on development, the cumulative impact of the removal of the group of nine trees will be detrimental to the

character and appearance of the area. The front garden, fronting on to Grove Road will be dominated by hard standing for cars.

## RECOMMENDATION

The application fails to satisfy policy DMH6 (v) in as much that trees, shrubs and wildlife habitat cannot be retained or re-provided in the residual garden spaces. The application also fails to satisfy DMHB 14 and should be refused

### **7.15 Sustainable waste management**

Not applicable to this application.

### **7.16 Renewable energy / Sustainability**

Not applicable to this application.

### **7.17 Flooding or Drainage Issues**

Not applicable to this application.

### **7.18 Noise or Air Quality Issues**

Not applicable to this application.

### **7.19 Comments on Public Consultations**

See Section 06.1 of this report

### **7.20 Planning Obligations**

The Council adopted its own Community Infrastructure Levy (CIL) on August 1st 2014 and the Hillingdon CIL charge for additional floorspace for residential developments is £95 per square metre and office developments of £35 per square metre. This is in addition to the Mayoral CIL charge of £35 per sq metre.

### **7.21 Expediency of enforcement action**

Not applicable to this application.

### **7.22 Other Issues**

None

## **8. Observations of the Borough Solicitor**

### General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

### Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing

the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

#### Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

#### Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

#### **9. Observations of the Director of Finance**

Not applicable to this application.

#### **10. CONCLUSION**

The proposed dwelling is of a design and form that would be out of keeping with the historic character of the area and would result in a cramped form of development and an unacceptable intensification of the existing site to the detriment of the character and appearance of the wider street scene. The proposal also fails to make adequate provision for the retention and long term protection of off site trees. The development is therefore considered contrary to a suite of Hillingdon Local Plan policies (2012) and policies in the London Plan 2016 and is recommended for refusal.

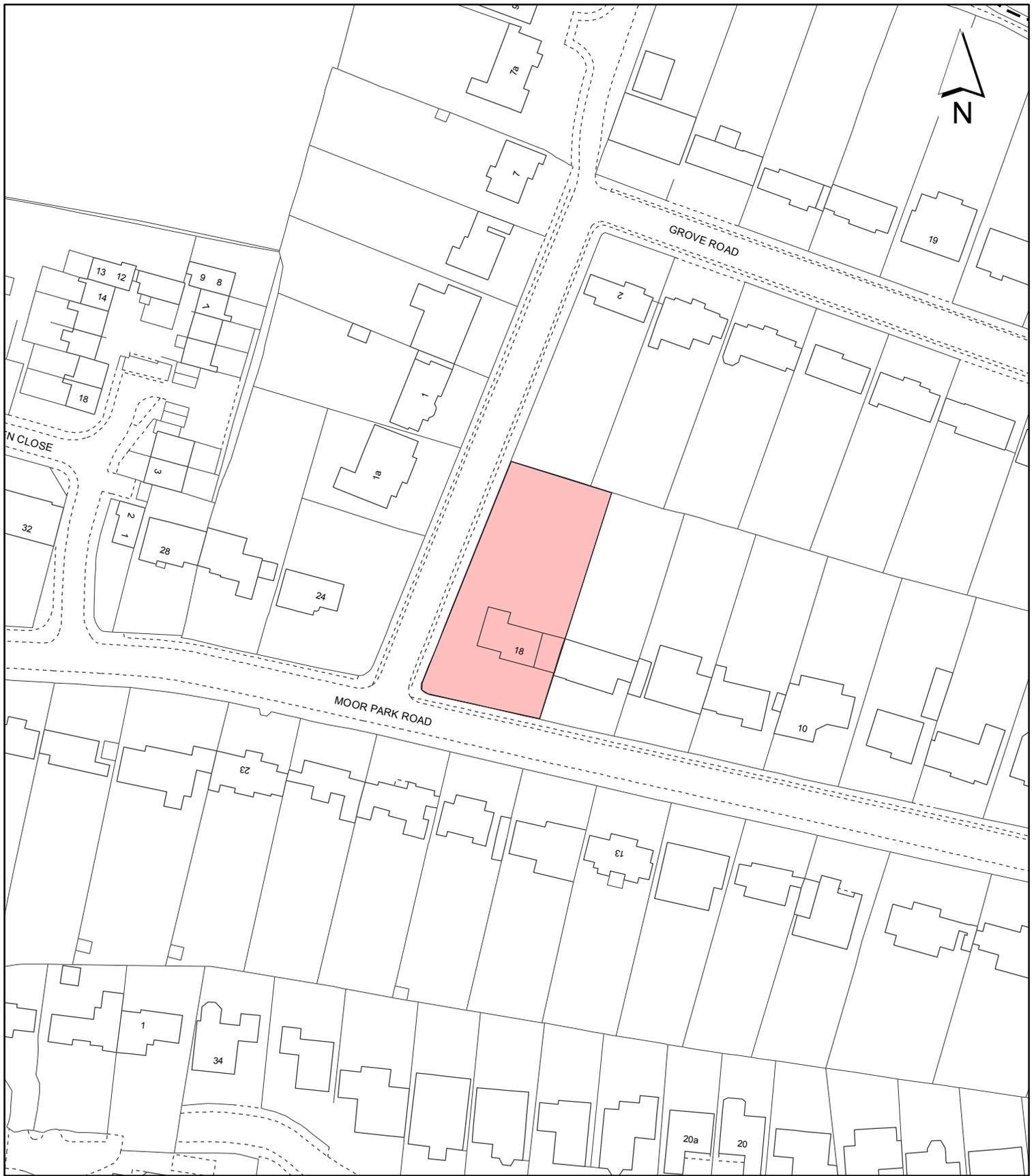
#### **11. Reference Documents**

Hillingdon Local Plan: Part One - Strategic Policies (November 2012)  
Hillingdon Local Plan: Part Two - Development Management Policies (January 2020)  
The London Plan (2016)  
The Housing Standards Minor Alterations to The London Plan (March 2016)  
Mayor of London's adopted Supplementary Planning Guidance - Housing (March 2016)

Technical Housing Standards - Nationally Described Space Standard  
National Planning Policy Framework

**Contact Officer:** Diane Verona

**Telephone No:** 01895 250230



**Notes:**

 Site boundary

For identification purposes only.  
 This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act).  
 Unless the Act provides a relevant exception to copyright.  
 © Crown copyright and database rights 2020 Ordnance Survey 100019283

Site Address:

**Land to the rear of  
 18 Moor Park Road,  
 Northwood**

**LONDON BOROUGH  
 OF HILLINGDON**  
 Residents Services  
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 01895 250111

Planning Application Ref:

**21577/APP/2020/1792**

Scale:

**1:1,250**

Planning Committee:

**North Page 21**

Date:

**September 2020**



**HILLINGDON**  
 LONDON

This page is intentionally left blank

## Report of the Head of Planning, Transportation and Regeneration

**Address** LAND TO THE SIDE OF 17 WOODSIDE ROAD NORTHWOOD

**Development:** Erection of a detached two storey 4 x bed house with associated parking and amenity space including the demolition of existing double garage

**LBH Ref Nos:** 29754/APP/2020/1397

**Drawing Nos:** 601.102-52 Rev D  
601.102-50 Rev D  
601.102-51 Rev D  
601.102-53 Rev A  
601.102-01  
601.102-03 Rev A  
601.102-02  
Design and Access Statement  
Arboricultural Impact Assessment  
601.102-06 Rev C

**Date Plans Received:** 01/05/2020                      **Date(s) of Amendment(s):** 14/05/2020

**Date Application Valid:** 22/05/2020

### 1. SUMMARY

The application seeks planning permission for the erection of a detached two storey 4 x bed house with associated parking and amenity space including the demolition of existing double garage

It is considered that the proposal would appear in keeping with the street scene, surrounding area, and Area of Special Local Character, would not result in an unneighbourly form of development and would provide a satisfactory living environment for future occupiers.

### 2. RECOMMENDATION

**APPROVAL subject to the following:**

#### 1 RES3 Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990

#### 2 RES4 Accordance with Approved Plans

The development hereby permitted shall not be carried out except in complete accordance with the details shown on Drawing Nos. 601.102-51 Rev D; 601.102-52 Rev D and 601.102-53 Rev A and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan Part

1 (2012), Part 2 (2020) and the London Plan (2016).

### **3 RES7 Materials (Submission)**

Prior to the commencement of development details and samples of all external materials, finishes and colours as listed below, shall be submitted to and approved in writing by the Local Planning Authority. Samples shall be made available on site for inspection and details shall include manufacturer information alongside the product type/code. Works shall be carried out in accordance to approved details.

- Brickwork;
- Render
- Roof tiles
- Windows
- Doors
- Rainwater goods
- Glazed roof

#### **REASON:**

To preserve and enhance the Area of Special Local Character in accordance to Hillingdon Local Plan Policy HE1 of the Hillingdon Local Plan: Part One (2012) and Policies DMHB 1, DMHB 5, DMHB 6 and DMHB 11 of the Hillingdon Local Plan: Part Two (2020)

### **4 NONSC Non Standard Condition**

Prior to installation, details of the conservation roof lights, shall be submitted to and approved in writing by the Local Planning Authority. Details shall include manufacturer information alongside the product type/code. Roof lights shall be positioned completely flush along the roof line. Works shall be carried out in accordance to approved details.

#### **REASON:**

To preserve and enhance the Area of Special Local Character in accordance to Hillingdon Local Plan Policy HE1 of the Hillingdon Local Plan: Part One (2012) and Policies DMHB 1, DMHB 5, DMHB 6 and DMHB 11 of the Hillingdon Local Plan: Part 2 (2020)

### **5 RES9 Landscaping (car parking & refuse/cycle storage)**

No building works on the superstructure shall take place until a landscape scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include: -

1. Details of Soft Landscaping
  - 1.a Planting plans (at not less than a scale of 1:100),
  - 1.b Written specification of planting and cultivation works to be undertaken,
  - 1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate
2. Details of Hard Landscaping
  - 2.a Means of enclosure/boundary treatments
  - 2.b Car Parking Layout
  - 2.c Hard Surfacing Materials
4. Details of Landscape Maintenance
  - 4.a Landscape Maintenance Schedule for a minimum period of 5 years.
  - 4.b Proposals for the replacement of any tree, shrub, or area of surfing/seeding within the landscaping scheme which dies or in the opinion of the Local Planning Authority becomes

seriously damaged or diseased.

## 5. Schedule for Implementation

### 6. Other

6.a Existing and proposed functional services above and below ground

6.b Proposed finishing levels or contours

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

### REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with Policies DMHB 11, DMHB 12, DMHB 14, DMEI 1 and DMT 2 of the Hillingdon Local Plan Part 2 (2020) and Policies 5.11 (living walls and roofs) and 5.17 (refuse storage) of the London Plan (2015).

## **6 RES10 Tree to be retained**

Trees, hedges and shrubs shown to be retained on the approved plan(s) shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority. If any retained tree, hedge or shrub is removed or severely damaged during (or after) construction, or is found to be seriously diseased or dying, another tree, hedge or shrub shall be planted at the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier. Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'.

Remedial work should be carried out to BS BS 3998:2010 'Tree work - Recommendations' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

### REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with Policy DMHB 14 of the Hillingdon Local Plan Part 2 (2020) and to comply with Section 197 of the Town and Country Planning Act 1990.

## **7 RES14 Outbuildings, extensions and roof alterations**

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development)(England) Order 2015 (or any order revoking and re-enacting that Order with or without modification); no garage(s), shed(s) or other outbuilding(s), nor extension or roof alteration to any dwellinghouse(s) shall be erected without the grant of further specific permission from the Local Planning Authority.

### REASON

To protect the character and appearance of the area and amenity of residential occupiers

in accordance with policies DMHB 11 and DMHD 2 of the Hillingdon Local Plan Part 2 (2020)

## **8 NONSC Non Standard Condition**

Prior to works on the superstructure commencing, details of step free access via the principal private entrance shall be submitted to, and approved in writing, by the Local Planning Authority. Such provision shall remain in place for the life of the building.

### **REASON**

To ensure that an appropriate standard of housing stock, in accordance with London Plan policy 3.8(c), is achieved and maintained.

## **INFORMATIVES**

### **1 I52 Compulsory Informative (1)**

The decision to GRANT/REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

### **2 I53 Compulsory Informative (2)**

The decision to GRANT/REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Local Plan Part 1 (2012) and Part 2 (2020) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including The London Plan - The Spatial Development Strategy for London consolidated with alterations since 2011 (2016) and national guidance.

DMHB 5	Areas of Special Local Character
DMHB 6	Gatehill Farm Estate and Copse Wood Estate Areas of Special Local Character
DMHB 11	Design of New Development
DMHB 12	Streets and Public Realm
DMHB 14	Trees and Landscaping
DMHB 15	Planning for Safer Places
DMHB 16	Housing Standards
DMHB 17	Residential Density
DMHB 18	Private Outdoor Amenity Space
DMT 2	Highways Impacts
DMT 6	Vehicle Parking
LPP 3.3	(2016) Increasing housing supply
LPP 3.4	(2015) Optimising housing potential
LPP 3.5	(2016) Quality and design of housing developments
NPPF- 2	NPPF-2 2018 - Achieving sustainable development
NPPF- 5	NPPF-5 2018 - Delivering a sufficient supply of homes
NPPF- 11	NPPF-11 2018 - Making effective use of land
NPPF- 12	NPPF-12 2018 - Achieving well-designed places

### **3 I59 Councils Local Plan : Part 1 - Strategic Policies**

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant Local Plan Part 2 (2020), then London Plan Policies (2016). Hillingdon's Full Council adopted the Hillingdon Local Plan: Part 1 - Strategic Policies on 8

November 2012 and the Hillingdon Local Plan Part 2 on 16 January 2020.

**4 147 Damage to Verge - For Council Roads:**

The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

For Private Roads: Care should be taken during the building works hereby approved to ensure no damage occurs to the verge of footpaths on private roads during construction. Vehicles delivering materials to this development shall not override or cause damage to a private road and where possible alternative routes should be taken to avoid private roads. The applicant may be required to make good any damage caused.

**5 115 Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit ([www.hillingdon.gov.uk/noise](http://www.hillingdon.gov.uk/noise) Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

**6 121 Street Naming and Numbering**

All proposed new street names must be notified to and approved by the Council. Building names and numbers, and proposed changes of street names must also be notified to the Council. For further information and advice, contact - The Street Naming and Numbering Officer, Planning & Community Services, 3 North Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250557).

## **7 15 Party Walls**

The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:

- carry out work to an existing party wall;
- build on the boundary with a neighbouring property;
- in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Residents Services Reception Desk, Level 3, Civic Centre, Uxbridge, UB8 1UW.

## **8 16 Property Rights/Rights of Light**

Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

## **9 170 LBH worked applicant in a positive & proactive (Granting)**

In dealing with the application the Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies from Local Plan Part 1, Local Plan Part 2, Supplementary Planning Documents, Planning Briefs and other informal written guidance, as well as offering a full pre-application advice service, in order to ensure that the applicant has been given every opportunity to submit an application which is likely to be considered favourably.

## **10 173 Community Infrastructure Levy (CIL) (Granting Consent)**

Under the terms of the Planning Act 2008 (as amended) and Community Infrastructure Levy Regulations 2010 (as amended), this development is liable to pay the London Borough of Hillingdon Community Infrastructure Levy (CIL) and the Mayor of London's Community Infrastructure Levy (CIL). This will be calculated in accordance with the London Borough of Hillingdon CIL Charging Schedule 2014 and the Mayor of London's CIL Charging Schedule 2012. Before commencement of works the development parties must notify the London Borough of Hillingdon of the commencement date for the construction works (by submitting a Commencement Notice) and assume liability to pay CIL (by submitting an Assumption of Liability Notice) to the Council at [planning@hillingdon.gov.uk](mailto:planning@hillingdon.gov.uk). The Council will then issue a Demand Notice setting out the date and the amount of CIL that is payable. Failure to submit a valid Assumption of Liability Notice and Commencement Notice prior to commencement of the development may result in surcharges being imposed.

The above forms can be found on the planning portal at: [www.planningportal.gov.uk/planning/applications/howtoapply/whattosubmit/cil](http://www.planningportal.gov.uk/planning/applications/howtoapply/whattosubmit/cil)

Pre-Commencement Conditions: These conditions are important from a CIL liability perspective as a scheme will not become CIL liable until all of the pre-commencement conditions have been discharged/complied with.

### 3. CONSIDERATIONS

#### 3.1 Site and Locality

The application relates to land to the side of a two storey, detached dwelling house located to the North West of Woodside Road. The dwelling is a brick and tiled building comprising generous front and rear gardens.

The application property shares side boundaries with Nos.15 and 19 Woodside Road to the South West and North East respectively.

Woodside Road consists of large detached houses of varying designs. The area is residential in character. The site lies within the Gatehill Estate Area of Special Local Character.

#### 3.2 Proposed Scheme

The application is seeking planning permission for the erection of a detached two storey 4 x bed house with associated parking and amenity space including the demolition of existing double garage.

The dwelling house would be located to the South West of No.17 Woodside Road. It would have a width of 6.6 metres at the front increasing to a width of 8 metres at the rear. It would span for a depth of 15.3 metres and it would be characterised by a hipped roof with a maximum height of 8.5 metres. It would be set back from the road by 7.9 metres and a minimum of 1.5 metres from both side boundaries. It would utilise the existing vehicular crossover and would benefit from its own private amenity space to the rear.

During the determination process, the roof plan was amended to be consistent with the elevations.

#### 3.3 Relevant Planning History

29754/81/0010                      17 Woodside Road Northwood  
Erection of a first-floor side extension.

**Decision:** 04-03-1981    Approved

29754/A/82/0695                      17 Woodside Road Northwood  
Garage.

**Decision:** 23-06-1982    Withdrawn

29754/APP/2008/3569                      17 Woodside Road Northwood  
Erection of a part single, part two storey rear extension, single storey side extension and covered front entrance.

**Decision:** 12-03-2009    Approved

29754/APP/2019/1235                      17 Woodside Road Northwood

Two storey side/rear extension

**Decision:** 31-05-2019 Withdrawn

29754/APP/2019/3994 17 Woodside Road Northwood

Two storey side extension and first floor rear extension

**Decision:** 17-06-2020 Approved

29754/B/82/1218 17 Woodside Road Northwood

Tree application (P)

**Decision:** 01-10-1982 Approved

29754/D/86/0033 17 Woodside Road Northwood

Householder development - residential extension(P)

**Decision:** 12-02-1986 Approved

29754/F/87/1845 17 Woodside Road Northwood

2-Storey side & rear extension & minor amendment to approved application ref:29754D/86/33

**Decision:** 08-12-1987 Approved

29754/G/88/2344 17 Woodside Road Northwood

To carry out tree surgery to T16 on TPO 164

**Decision:** 16-11-1988 Approved

29754/PRC/2018/236 17 Woodside Road Northwood

Residential development forming 1 new dwelling

**Decision:** 01-03-2019 OBJ

29754/PRC/2019/160 17 Woodside Road Northwood

Remodelling of existing house including raising ridge height and two storey side extension.

**Decision:**

29754/PRC/2019/262 Land To Side Of 17 Woodside Road Northwood

Two storey detached new dwellinghouse

**Decision:** 03-04-2020 OBJ

## **Comment on Relevant Planning History**

An application to extend the existing dwelling house into this area of the plot has recently been approved under application reference 29754/APP/2019/3994 dated 17/06/2020.

A similar proposal for a detached dwelling in this part of the plot was considered under a pre-application submission reference: 29754/PRC/2019/262 dated 03/04/2020. It was considered that developing the site would be acceptable in principle and that the scale and bulk would be considered in keeping with the surrounding area. However, design elements need to be reviewed in regards to windows, roof design and footprint. It is also noted that the Council's Conservation Officer considered that a separate dwelling would be more suited to the site than the proposals to extend the original property.

This application is the full planning submission following the pre-application. The design has been amended following advice provided and the crown roof has been removed, the window design altered and the tapering of the side wall removed.

## **4. Planning Policies and Standards**

London Borough of Hillingdon Development Plan

Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise.

The Development Plan for the London Borough of Hillingdon currently consists of the following documents:

The Local Plan: Part 1 - Strategic Policies (2012)  
The Local Plan: Part 2 - Development Management Policies (2020)  
The Local Plan: Part 2 - Site Allocations and Designations (2020)  
West London Waste Plan (2015)  
The London Plan - Consolidated With Alterations (2016)

The National Planning Policy Framework (NPPF) (2019) is also a material consideration in planning decisions, as well as relevant supplementary planning documents and guidance.

Emerging Planning Policies

Paragraph 48 of the National Planning Policy Framework (NPPF) 2019 states that 'Local Planning Authorities may give weight to relevant policies in emerging plans according to:

- (a) the stage of preparation of the emerging plan (the more advanced its preparation, the greater the weight that may be given);
- (b) the extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given); and
- (c) the degree of consistency of the relevant policies in the emerging plan to this Framework (the closer the policies in the emerging plan to the policies in the Framework, the greater the weight that may be given).

Draft London Plan (Intend to Publish Version, December 2019)

The GLA consulted upon a draft new London Plan between December 2017 and March 2018 with the intention of replacing the previous versions of the existing London Plan. The Plan was subject to examination hearings from February to May 2019, and a Consolidated

Draft Plan with amendments was published in July 2019. The Panel of Inspectors appointed by the Secretary of State issued their report and recommendations to the Mayor on 8th October 2019.

The Mayor has considered the Inspectors' recommendations and, on 9th December 2019, issued to the Secretary of State his intention to publish the London Plan along with a statement of reasons for the Inspectors' recommendations that the Mayor did not wish to accept. The Secretary of State responded on the 13th March 2020 and stated that he was exercising his powers under section 337 of the Greater London Authority Act 1999 to direct that modifications are required. These are set out at Annex 1 of the response, however the letter does also state that if the Mayor can suggest alternative changes to policies that would address the concerns raised, these would also be considered.

More limited weight should be attached to draft London Plan policies where the Secretary of State has directed modifications or where they relate to concerns raised within the letter. Greater weight may be attached to policies that are not subject to modifications from the Secretary of State or that do not relate to issues raised in the letter.

### **UDP / LDF Designation and London Plan**

The following Local Plan Policies are considered relevant to the application:-

#### Part 1 Policies:

- PT1.BE1 (2012) Built Environment
- PT1.H1 (2012) Housing Growth
- PT1.HE1 (2012) Heritage

#### Part 2 Policies:

- DMHB 5 Areas of Special Local Character
- DMHB 6 Gatehill Farm Estate and Copse Wood Estate Areas of Special Local Character
- DMHB 11 Design of New Development
- DMHB 12 Streets and Public Realm
- DMHB 14 Trees and Landscaping
- DMHB 15 Planning for Safer Places
- DMHB 16 Housing Standards
- DMHB 17 Residential Density
- DMHB 18 Private Outdoor Amenity Space
- DMT 2 Highways Impacts
- DMT 6 Vehicle Parking
- LPP 3.3 (2016) Increasing housing supply
- LPP 3.4 (2015) Optimising housing potential
- LPP 3.5 (2016) Quality and design of housing developments
- NPPF- 2 NPPF-2 2018 - Achieving sustainable development
- NPPF- 5 NPPF-5 2018 - Delivering a sufficient supply of homes
- NPPF- 11 NPPF-11 2018 - Making effective use of land

## 5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

## 6. Consultations

### External Consultees

Six neighbouring properties and the Resident's Association were notified of the proposal on 27/05/2020.

The following responses were received:

- 7 objections, including both Residents Associations;
- 3 letters in support;
- A petition objecting the proposal;
- A petition supporting the proposal;

The objections (including the petition) can be summarised as follows:

- Detrimental to the character of Gatehill Farm Estate;
- Will cause harm to the street scene;
- Will appear cramped;
- Inappropriate development;
- House would be dominating compared to the rest of the properties on the road;
- According to Policy DMHB 6 new houses should be constructed on building plots of a similar average width as the surrounding development. Following development the subsequent 2 plots would be of 8.8 metres and 14 metres but the narrowest plot in the area is 15.5 metres;
- New build is well forward of the building line and is not comparable in size to other properties within the area contrary to Policy DMHB 6;
- The mature hedge between site and No.15 and the protected trees on the site are at risk from building works;
- Large chimney projects into the gap between proposed dwelling and No.17 reducing the gap to less than 1.5 metres;
- Chimney would dominate the street scene;
- Concern about the loss of the Ash tree (T8) and the subsequent impact on the character of the area, its replacement should be secured by way of a condition;
- The rear mature trees are an integral part of the view on this street and should be preserved;
- No proposal has been submitted for new landscaping;
- No consideration has been given to ensure that the changes in the management of surface water which will arise;
- Bricking up windows in No.17 Woodside Road will have a detrimental impact on the living conditions for future occupiers;
- The protected trees to the rear would result in accommodation with poor levels of light;
- The Pre-application site visit was conducted before the change in Policy in January 2020;
- Development would set a dangerous precedent.

Officer Comments:

The site visit took place prior to the adoption of the new policies, however, the final report was written using the adopted policies. The impact of the proposal on the character and appearance of the area and ASLC, the impact on trees and the living conditions for future occupiers will be considered in the report below.

The comments in support (including the petition) can be summarised as follows:

- Shortage of housing the area;
- High quality proposal;
- The application has been through full pre-application procedures;
- The proposal is compliant with the policies.

### **Internal Consultees**

#### Trees/Landscaping:

The site lies within the area covered by TPO 164 with several protected trees present on this plot: G4, G%, T15, T16, T18 and T19. This submission follows several previous submissions. A full tree report updated in November 2019 has been resubmitted. The report has identified and assessed the condition and value of 31 individual trees and groups, nine are B grade trees, all others are considered to be category 'C'. The report confirms which trees are protected by the TPO; T3 and T4 (in the survey) are in group G4, T17 and T18 are in group G5, T22 is T20 and T21 is T21, according to the TPO. Tree removal is minimal and restricted to a low ('C') grade, non-protected tree (T8, ash). In my view the row of trees on the boundary T9-T13 are too close to the proposed building, however, they are 'C' grade, non-protected, trees and will be protected and retained as part of this application. The report provides an Arboricultural Implications Assessment, Arb.Method Statement, Tree Protection Plan and allows for arboricultural monitoring of protection measures on the site. No objection subject to strict adherence to the recommendations given in the tree report and conditions RES9 (parts 1,2 and 5) and RES10.

#### Conservation Officer:

The existing property is characterised by its red brick external appearance. It is set on a generous sized plot with a substantial gap to the west of the existing dwelling. The original dwelling dates from the 1930s and is one of the original buildings built when the estate was established. The property is uniquely orientated with the front entrance located along the west elevation.

The Gatehill Farm Estate was an area of former farmland (associated to the Grade II Listed Gatehill Farmhouse) which was originally developed in the 1930s as a garden suburb. The plan arrangement of the estate was design by Soutar with covenants established to control issues such as density of sites, fencing and maintenance of the roads. Unfortunately overtime the area has suffered from modern alterations which have not respected the principles in which the estate had been originally developed. This has to some degree degraded its character and appearance.

The area is characterised by large detached properties set within generous plots with ample gaps between allowing for a low-density streetscape. Hedges, mature planting and grass verges define the street scene contributing to a verdant, garden suburb appearance to the area. Predominantly developed in the 1930s, development was then staggered over the decades from the 1950s. This has contributed to the varied character and style of buildings, however, materials have been remained muted and traditional in appearance.

The subdivision of the site original associated to No 17 would somewhat harm the spacious quality of the plot and principle in which the area had been developed. However, in this instance taking into account the notable width of the plot it is recognised there is some scope for development. From discussions on site as part of the formal pre-application process there may also be historic evidence to suggest that the proposed subdivision of this site is as originally intended, when the Gatehill Estate was being laid out in the early part of the 20th Century. Therefore, there may be some argument in favour of the subdivision of this site. However, it is important to note that previous precedents for similar developments/plot subdivisions within the Area of Special Local Character are not necessarily considered appropriate precedents to copy.

When considering the previous proposals to extend the existing dwelling (No17), on balance the

creation of a separate dwelling would better respect the original building's proportions, character and form. The proposed development in itself becomes a separate built mass rather than adding bulk to an existing built form.

It is acknowledged that the design and appearance of the proposed dwelling would respect the character and style of the Gateshill Estate with traditional features of an Arts and Crafts influence. However it is expected traditional materials are used to construct the building, with high quality bricks, clay roof tile, timber windows and doors, metal rain water goods, conservation flush fitting roof lights etc. The fully pitched roof would address previous concerns in relation to the crown roof, resulting in a traditional built form in keeping with the character of the area, setting a good design precedent within the ASLC.

The fenestration would need to be consist across all elevations of the proposed dwelling, therefore it is expected that rear window and door openings appropriately relate to the traditional character of the proposed building. The large expanse of glass to the rear elevation would detract from the traditional aesthetic of the dwelling. The provision of Juliette balconies at first floor is not ideal. Traditional casements as proposed to the front of the building should be replicated to the rear. There may be more flexibility in terms of the ground floor opening.

It is important ample gaps are retained between site boundaries to ensure the sense of spaciousness to individual sites and from views along the street scene are maintained, and where possible enhanced upon.

Due to the nature of the proposed development, it is inevitable harm would be caused to non-designated heritage asset. Taking into account paragraph 197 of the National Planning Policy Framework (NPPF, 2019), on balance the proposed new development would adequately conserve the non-designated heritage asset.

Conclusion: Some harm - conditions recommended. It is recommended that the permitted development rights for extensions, roof alterations and front boundary treatments are restricted in order to safeguard the ASLC.

Pre-commencement conditions for External Materials and Rooflights are recommended.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

In order to establish the acceptability of the principle of developing this site for residential purposes, it is necessary to take into account currently adopted planning policy.

The site lies within an established residential area. It is therefore considered there would be no objection in principle to the intensification of the residential use of the site, subject to all other material planning considerations being acceptable.

### **7.02 Density of the proposed development**

The density ranges set out in the London Plan are not used in the assessment of schemes of less than 10 units.

### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

The application property lies within the Gatehill Farm Estate Area of Special Local Character. The impact of the proposal on the ASLC will be discussed in more detail in terms of the impact on the character and appearance of the area below.

### **7.04 Airport safeguarding**

Not relevant for this application.

### **7.05 Impact on the green belt**

Not relevant for this application.

#### **7.07 Impact on the character & appearance of the area**

Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) requires all new development to improve and maintain the quality of the built environment in order to create successful and sustainable neighbourhoods. In addition, Policy DMHB 11 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) advises that all development will be required to be designed to the highest standards and incorporate principles of good design.

The site lies within the Gatehill Farm Estate Area of Special Local Character (ASLC). Policy DMHB 5 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) states that within ASLC new development should reflect the character of the area and its original layout. Alterations should respect the established scale, building lines, height, design and materials of the area. Policy DMHB 6 adds that within the Gatehill Farm Estate new houses should be constructed on building plots of a similar average width as surrounding residential development; be constructed on a similar building line and be of a similar scale, form and proportion as adjacent houses and reflect the materials, traditional roof design, design features and architectural style predominant in the area; ensure that the boundary treatment is unobtrusive and of the natural materials appropriate to the character and appearance of the estate; ensure that new dwellings retain an absolute minimum of 1.5 metres distance to side boundaries; preserve the mature trees including boundary planting to reinforce existing landscaping and Estate settings.

It is considered that the design and appearance of the proposed dwelling would respect the character and style of the Gatehill Estate with traditional features of an Arts and Crafts influence and the materials used in the construction can be conditioned to ensure they are of high quality. The Conservation Officer has confirmed that the proposal would set a good design precedent with the ASLC.

The existing plot benefits from a frontage width of 23 metres and increases to the rear of the site. The average plot width along Gatehill Road is about 19 metres and so the existing is much larger than the average and the majority of the properties have widths of about 15 metres. Following development, the width of the frontage of the new dwelling would be 8.3 metres and the width of the existing property would be 14.7 metres which would be less than the average, and the width of the new plot would be considered much less. However, it is noted that the plot of the new dwelling significantly increases towards the rear to a width of 20 metres resulting in an average width of 14.5 metres. Whilst the Conservation Officer accepted that the proposal would result in harm of the spacious quality, they stated that there may be some argument in favour of the subdivision of this site due to potential historic evidence that the original layout included a house in this area. The majority of houses along Woodside Road fill the width of their plots and No.17 is the only property that benefits from a large spacious element to the side of the dwelling, as such, some infilling of this area would be considered to be more in keeping with the surrounding properties. An application to extend No.17 has recently been permitted, however, the Conservation Officer has state that on balance, the creation of a separate dwelling would better respect the original building's proportions, character and form and is the preferred option. Subsequently, taking the above into account, it is considered that on balance, whilst the plots would be narrower than the average along Woodside Road, the benefits of developing this site using a detached dwelling house outweigh the harm caused by smaller plots.

The new dwelling would be located a minimum of 1.5 metres from the boundary with No.15 Woodside Road, and it is considered that there would be a sufficient gap between the

proposed dwelling and No.17 Woodside Road. The new dwelling would be mostly located 1.5 metres from the new boundary line, however, a chimney on the new dwelling would be located only 1 metre from the proposed boundary line. However, the chimney is considered to add character to the property, and it is relatively small in bulk. In addition, it is noted that many properties along Woodside Road are not set in from the boundary by the required 1.5 metres and so it considered that the chimney would not result in unacceptable harm.

The application site lies along a small bend in the road and so Nos.17 and 19 Woodside Road are on a slightly different building line which relates to the turn in the road than to No.15 Woodside Road. The front bay window would be built in line with the main front wall of No.17 and so the main dwelling house would be slightly set back from the host dwelling, and whilst it would be forward of No.15, it is considered it would follow the established building line of Nos.17 and 19.

The existing boundary with No.15 Woodside Road consists of trees and hedges. Whilst these trees would be close to the proposed buildings, they are 'C' grade, non-protected trees and with exception to the Ash they would be protected and retained. The submitted tree report provides implications assessment, method statement and protection plan and allows for monitoring of protection measures on site. As such, it is considered that the existing boundary planting would be retained.

Subsequently, it is considered that on balance, whilst some harm would occur to the appearance of the street scene, the proposed new development would adequately conserve the non-designated heritage asset. Therefore, it is considered that the proposal would have an acceptable impact on the character and appearance of the area and street scene and the proposal would comply with Policies DMHB 5, DMHB 6 and DMHB 11 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020).

#### **7.08 Impact on neighbours**

Policy DMHB 11 B of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) seeks to safeguard the amenities of neighbouring residents in terms of loss of light, loss of outlook, sense of dominance and loss of privacy.

The proposed dwelling would generally be located 3 metres from the host dwelling and would be 1.5 metres from the new shared boundary line. It would not project forward of the host dwelling and would project 0.8 metres from the rearmost wall of No.17 Woodside Road. Whilst No.17 is stepped along the South Western flank wall, the proposed dwelling would not intersect the 45 degree horizontal line from any window serving a habitable room. Due to the distance between the properties, it would not result in the feeling of overdominance to the occupiers of No.17.

The development would be a minimum of 1.5 metres from the shared boundary with No.15 Woodside Road and would be a minimum of 5 metres from the neighbouring dwelling. Due to the turn in the road the proposal would project forward of No.15 by 3.6 metres. However, the plans demonstrate that this would not intersect the 45 degree horizontal line from the nearest habitable window.

There would be side facing rooflights installed on both side roof planes, however, as these are high level it is considered they would not result in any overlooking.

Subsequently, it is considered that the proposal as shown, would not have a detrimental impact on any neighbouring properties in terms of loss of light, loss of outlook, sense of dominance or loss of privacy and therefore would comply with Policy DMHB 11 B of the

Hillingdon Local Plan Part Two - Development Management Policies (2020).

#### **7.09 Living conditions for future occupiers**

On 25th March 2015 the Government introduced new technical housing standards in England, which comprise of new additional 'optional' Building Regulations on water and access and a nationally described standard. They came into effect on 1st October 2015 and the Mayor of London has adopted the new national technical standards through a minor alteration to the London Plan. Policy DMHB 16 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) seeks to ensure that these housing standards are met.

The Housing Standards (Minor Alterations to the London Plan) March 2016 sets out the minimum 'internal floors spaces required for developments in order to ensure that there is an adequate level of amenity for existing and future occupants. A two storey, 4-bed, 8 person dwelling should benefit from 124 square metres of internal space. The proposal would result in 176 square metres of internal floor space and so would be compliant with these requirements.

Paragraph 5.61 of the of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) states 'in order to provide for the privacy of household members and to alleviate future potential for overcrowding, new family homes (3+ bedrooms) should include at least two separate living areas'. These have been provided. It is considered that all windows would provide adequate sunlight and outlook.

Policy DMHB 18 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) stresses the importance of new buildings and extensions providing adequate amount of external amenity space. 4-bed properties should benefit from 100 square metres of private amenity space. Approximately 600 square metres of garden space would be provided for the new house and the host dwelling. As such, it is considered that the proposal would comply with Policy DMHB 18 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020).

#### **7.10 Traffic impact, car/cycle parking, pedestrian safety**

Policies DMT 2 and DMT 6 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) considers whether the traffic generated by proposed developments is acceptable in terms of the local highway and junction capacity, traffic flows and conditions of general highway or pedestrian safety and ensure that all development is in accordance with the Council's adopted Car Parking Standards.

Two parking spaces would be provided for the new dwelling, and 3 retained for the host dwelling which would comply with parking standards. The parking would utilise the existing vehicular crossovers. Two cycle parking spaces would need to be provided, however, this can be dealt with by way of a condition.

#### **7.11 Urban design, access and security**

Not relevant for this application

#### **7.12 Disabled access**

Not applicable to this application.

#### **7.13 Provision of affordable & special needs housing**

Not applicable to this application.

#### **7.14 Trees, Landscaping and Ecology**

Policy DMHB 14 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) seeks the retention and utilisation of topographical and landscape features

of merit and the provision of new planting and landscaping where appropriate.

The existing boundary with No.15 Woodside Road consists of trees and hedges. Whilst these trees would be close to the proposed buildings, they are 'C' grade, non-protected trees and with exception to the Ash they would be protected and retained. The submitted tree report provides implications assessment, method statement and protection plan and allows for monitoring of protection measures on site. As such, it is considered that the existing boundary planting would be retained. Following strict adherence to the tree report and relevant conditions added to an approval it is considered that the proposal would comply with Policy DMHB 14 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020).

**7.15 Sustainable waste management**

Not applicable to this application.

**7.16 Renewable energy / Sustainability**

Not applicable to this application.

**7.17 Flooding or Drainage Issues**

Not applicable to this application.

**7.18 Noise or Air Quality Issues**

Not applicable to this application.

**7.19 Comments on Public Consultations**

All representations relating to character and appearance of street scene and the Area of Special Local Character and trees would constitute material planning considerations and have been addressed within the main body of the report.

**7.20 Planning Obligations**

**7.21 Expediency of enforcement action**

**7.22 Other Issues**

The Council adopted its own Community Infrastructure Levy (CIL) on 1st August 2014 and the charge for residential developments is £95 per square metres of additional floorspace. This is in addition to the Mayoral CIL charge of £60 per square metre as of 01/04/2019. The proposed development would create an additional amount of 151 square metres.

**8. Observations of the Borough Solicitor**

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

### Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

### Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

### Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

## **9. Observations of the Director of Finance**

Not applicable

## **10. CONCLUSION**

The application seeks planning permission for the erection of a detached two storey 4 x 4 bed house with associated parking and amenity space including the demolition of existing double garage

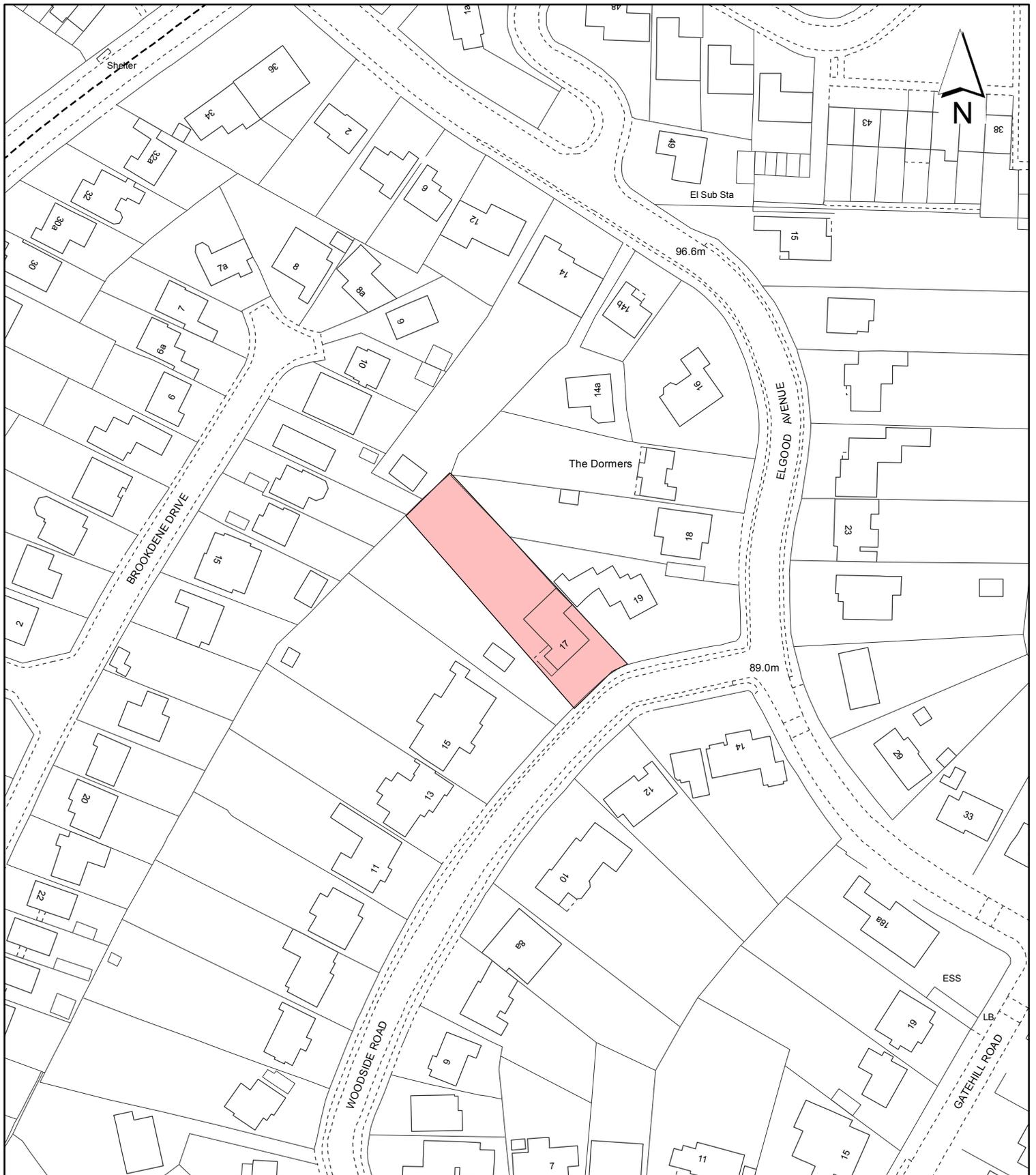
It is considered that the proposal would appear in keeping with the street scene, surrounding area, and Area of Special Local Character, would not result in an unneighbourly form of development and would provide a satisfactory living environment for future occupiers.

## 11. Reference Documents

Hillingdon Local Plan: Part One - Strategic Policies (November 2012)  
Hillingdon Local Plan: Part Two - Development Management Policies (January 2020)  
The London Plan (2016)  
National Planning Policy Framework

**Contact Officer:** Charlotte Spencer

**Telephone No:** 01895 250230



**Notes:**

Site boundary

For identification purposes only.  
 This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act).  
 Unless the Act provides a relevant exception to copyright.  
 © Crown copyright and database rights 2020 Ordnance Survey 100019283

Site Address:

**Land to the side of  
 17 Woodside Road,  
 Northwood**

**LONDON BOROUGH  
 OF HILLINGDON**  
 Residents Services  
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 01895 250111

Planning Application Ref:

**29754/APP/2020/1397**

Scale:

**1:1,250**

Planning Committee:

**North Page 42**

Date:

**September 2020**



**HILLINGDON**  
 LONDON

## Report of the Head of Planning, Transportation and Regeneration

- Address** TELECOMMUNICATIONS AT JUN BRIDLE ROAD & CHENEY STREET  
BRIDLE ROAD EASTCOTE
- Development:** Installation of 20m monopole and 3 equipment cabinets, and associated ancillary works (Application under Part 16 of Schedule 2 to the Town and Country Planning (General Permitted Development) Order 2015 (as amended) for determination as to whether prior approval is required for siting and appearance).
- LBH Ref Nos:** 75666/APP/2020/2552
- Drawing Nos:** HGN12189\_PLANNING\_REV\_A Issue ,  
Covering Letter dated 14 August 2020  
Photographic Example of Phase 8 Streetpole  
Aerodrome Notification dated 07 July 2020  
Developers Notice dated 14.08.20  
ICNIRP Compliance Certificate  
002 HGN12189\_PLANNING\_REV\_A Issue ,  
100 HGN12189\_PLANNING\_REV\_A Issue ,  
150 HGN12189\_PLANNING\_REV\_A Issue ,  
215 HGN12189\_PLANNING\_REV\_A Issue ,  
265 HGN12189\_PLANNING\_REV\_A Issue ,  
304 HGN12189\_PLANNING\_REV\_A Issue ,  
306 HGN12189\_PLANNING\_REV\_A Issue ,  
Supplementary Information

**Date Plans Received:** 14/08/2020      **Date(s) of Amendment(s):**  
**Date Application Valid:** 14/08/2020

### 1. **SUMMARY**

This application seeks prior approval under Part 16 of Schedule 2 to the Town and Country Planning (General Permitted Development) Order 2015 for the installation of 20m monopole with associated ground based equipment. The proposed development would not harmonise with the streetscene and open aesthetic and would have a detrimental impact on the visual amenities of the Eastcote Village Conservation Area and character of the area.

The proposal is considered to be an obtrusive form of development which would add visual clutter to the street scene. As such, it fails to comply with Policies DMHB 1, DMHB 11, DMHB 12 and DMHB 21 of The Local Plan: Part 2 - Development Management Policies (2020) and the National Planning Policy Framework (2019).

This application is recommended for Refusal.

### 2. **RECOMMENDATION**

**REFUSAL for the following reasons:**

#### 1      NON2      **Non Standard reason for refusal**

The proposed development, by reason of the siting in this open prominent position, size,

scale and design of the proposed monopole and the size, scale and siting of the equipment cabinets, would create an obtrusive form of development which would add visual clutter to the detriment of the character, appearance and visual amenities of the street scene. The proposal is therefore contrary to Policies BE1 and HE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies DMHB 1, DMHB 11, DMHB 12 and DMHB 21 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) and the National Planning Policy Framework (February 2019).

## **2 NON2 Non Standard reason for refusal**

In the absence of an appropriate appraisal of the surrounding area, the submission fails to adequately assess whether there are other more appropriate sites available for the development, in accordance with Paragraph 115 of the NPPF (February 2019) and Policy DMHB 21 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020).

## **INFORMATIVES**

### **1 I52 Compulsory Informative (1)**

The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

### **2 I53 Compulsory Informative (2)**

The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Local Plan Part 1 (2012) and Part 2 (2020) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including The London Plan - The Spatial Development Strategy for London consolidated with alterations since 2011 (2016) and national guidance.

DMHB 1	Heritage Assets
DMHB 4	Conservation Areas
DMHB 11	Design of New Development
DMHB 12	Streets and Public Realm
DMHB 14	Trees and Landscaping
DMHB 21	Telecommunications
LPP 4.11	(2016) Encouraging a connected economy
NPPF- 10	NPPF-10 2018 - Supporting high quality communications

### **3 I71 LBH worked applicant in a positive & proactive (Refusing)**

In dealing with the application the Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies from the Local Plan Part 1, Local Plan Part 2, Supplementary Planning Documents, Planning Briefs and other informal written guidance, as well as offering a full pre-application advice service.

We have however been unable to seek solutions to problems arising from the application as the principal of the proposal is clearly contrary to our statutory policies and negotiation could not overcome the reasons for refusal.

4

The applicant is advised that the consultation contact for RAF Northolt is DIO-Safeguarding-Statutory@mod.gov.uk.

5

The applicant is advised the information in the Supplementary Information document does not reflect the information on the proposed plans provided in regards to a rendered wall.

### 3. CONSIDERATIONS

#### 3.1 Site and Locality

The application site is situated on the eastern side of Cheyney Street at the junction with Bridle Road. The application site comprises a footway and the site lies immediately south of No. 33 Bridle Road. The application site lies immediately next to Eastcote Conservation Area to the north. The surrounding area is residential in character.

#### 3.2 Proposed Scheme

This application seeks prior approval under Part 16 of Schedule 2 to the Town and Country Planning (General Permitted Development) Order 2015 for the installation of a 20m monopole with wraparound Cabinet at the base with associated ground based equipment comprising 1 x H3G Batsman cabinet, 1 x H3G HUAWEI APM5930 equipment cabinet and 1 x Bowler Cabinet. (Volume of equipment housing = 2.9 cubic metres)

#### 3.3 Relevant Planning History

75666/APP/2020/1854 Telecommunications At Jun Bridle Road & Cheney Street Bridle Road

Proposed erection of a 20 metre high Phase 8 telecommunications pole with built-in cabinet, 3 x separate equipment cabinets and ancillary works (Application under Part 16 of schedule 2 to the Town and Country Planning (General Permitted Development) Order 2015 for determination as whether prior approval is required for siting and appearance).

**Decision:** 21-07-2020 Withdrawn

#### Comment on Relevant Planning History

The most relevant application history is sited above.

### 4. Planning Policies and Standards

Policy DMHB 21 of The Local Plan: Part 2 - Development Management Policies (2020) states that telecommunication development will only be permitted where:

- i) it is sited and designed to minimise their visual impact;
- ii) it does not have a detrimental effect on the visual amenity, character or appearance of the building or the local area;
- iii) it has been demonstrated that there is no possibility for use of alternative sites, mast sharing and the use of existing buildings;
- iv) there is no adverse impact on areas of ecological interest, areas of landscape importance, archaeological sites, Conservation Areas or buildings of architectural or historic interest; and

v) it includes a Declaration of Conformity with the International Commission on Non Ionizing Radiation.

Chapter 10 of the National Planning Policy Framework (2019) stresses the importance of advanced, high quality and reliable communications infrastructure and the role it plays in supporting sustainable economic growth. It goes on to advise that the aim should be to keep the numbers of radio and telecommunications masts and sites to a minimum, consistent with the efficient operation of the network and that existing masts and sites should be used unless there is a demonstrable need for a new site.

The aim of this application is to provide 5G network and improve coverage and capacity for one operator, Hutchison 3G UK Limited (H3G) in the area. A cell search has indicated that a total of 6 site has been examined including the site selected.

It is noted that the other sites were discounted due to the following reasons:

- Eastfields - Narrow Pavement
- Bridle Road - Densely residential and a number of houses look directly onto the street.
- Roads to South of Target/Search Area - Dropped kerbs, roadside parking
- Cheney Street - Densely residential and a number of houses look directly onto the street.
- Existing Telecommunications Infrastructure - Not capable of hosting additional equipment or extending signal reach across the area of coverage gap

A signed Declaration of Conformity has been provided as part of this submission.

## **UDP / LDF Designation and London Plan**

The following Local Plan Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

PT1.HE1 (2012) Heritage

Part 2 Policies:

DMHB 1 Heritage Assets

DMHB 4 Conservation Areas

DMHB 11 Design of New Development

DMHB 12 Streets and Public Realm

DMHB 14 Trees and Landscaping

DMHB 21 Telecommunications

LPP 4.11 (2016) Encouraging a connected economy

NPPF- 10 NPPF-10 2018 - Supporting high quality communications

## **5. Advertisement and Site Notice**

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

## **6. Consultations**

### **External Consultees**

The application was consulted on between 26-08-2020 and 16-09-2020. 103 neighbouring notification letters were sent. 4 objections were received which are summarised as follows:

- The site had been developed into a green corner, with a mature tree and hedge, and is much appreciated by residents;
- The equipment is either within or on the edge of the Eastcote Conservation Zone and will certainly have a negative impact on the visual appearance of the conservation area;
- The centre of all trees are incorrectly shown on the plan;
- The proposal would result in a visual impact and impaired use of the neighbouring garden, there are concerns regarding safety at this very short distance;
- The placement of the mast and equipment cabinets is tight up against the picket fence which forms the boundary of the neighbouring property is a significant concern as it will become a maintenance issue;
- Concerned about the foundations for the 20 meter mast and the potential encroachment onto neighbouring property and the impact that will have on the trees and shrubs on the neighbouring property;
- The Proposed Site Plan is incorrect in that the distance from the mast to the bus shelter is only 6 meters not as shown on the plan. The Large Chestnut Tree has its trunk on the boundary fence and the tree is directly over the bus shelter;
- The Eastcote Flood Action Group is aware of severe flooding at this intersection;
- The area should be enhanced as a flood garden;
- Any diminution of soak away space or vegetation will impact on the safety of residents;
- The letter for this proposal was very sloppy and ;
- The proposal is an eyesore;
- There is similar telecommunications equipment nearby;
- It will detract from the open and verdant character of the area. Bridle Road was originally a bridle path edged with trees;
- Residents do not want monopoles outside their properties; and
- Photographs of the site flooded have been sent in objection to the application.

Officer comment: The issues are addressed within the main body of the report. In response to the matter relating to flooding, the Flood Water Management Officer notes the area well known for flooding, though a pole will have little impact on the flooding risk but may be susceptible if there is any electronic equipment situated low down.

## STATUTORY CONSULTEES

Ministry of Defence

No comments received at the time of writing this report, any correspondence will be reported to planning committee through an addendum.

### Internal Consultees

Highways Officer

Application for the installation of a monopole and related equipment on public footway. The equipment will be at the back of the footway at the wider corner section of the junction and will not impact on the width of the footway or pedestrian desire lines. The minimal servicing and maintenance requirements can be undertaken close to the site as there is unrestricted parking. There are no highways objections to the application.

## 7. MAIN PLANNING ISSUES

### 7.01 The principle of the development

Schedule 2, Part 16 of The Town and Country Planning (General Permitted Development)

(England) Order 2015 (as amended) states:

Permitted development

A. Development by or on behalf of an electronic communications code operator for the purpose of the operator's electronic communications network in, on, over or under land controlled by that operator or in accordance with the electronic communications code, consisting of -

- (a) the installation, alteration or replacement of any electronic communications apparatus,
- (b) the use of land in an emergency for a period not exceeding 6 months to station and operate moveable electronic communications apparatus required for the replacement of unserviceable electronic communications apparatus, including the provision of moveable structures on the land for the purposes of that use, or
- (c) development ancillary to radio equipment housing.

Development not permitted: ground-based apparatus

A.1 - (1) Development consisting of the installation, alteration or replacement of electronic communications apparatus (other than on a building) is not permitted by Class A(a) if:

(a) in the case of the installation of electronic communications apparatus (other than a mast), the apparatus, excluding any antenna, would exceed a height of 15 metres above ground level;

(b) in the case of the alteration or replacement of electronic communications apparatus (other than a mast) that is already installed, the apparatus, excluding any antenna, would when altered or replaced exceed the height of the existing apparatus or a height of 15 metres above ground level, whichever is the greater;

(c) in the case of the installation of a mast, the mast, excluding any antenna, would exceed a height of:

- (i) 25 metres above ground level on unprotected land; or
- (ii) 20 metres above ground level on article 2(3) land or land which is on a highway; or

(d) in the case of the alteration or replacement of a mast, the mast, excluding any antenna, would when altered or replaced;

(i) exceed the greater of the height of the existing mast or a height of:

- (aa) 25 metres above ground level on unprotected land; or
- (bb) 20 metres above ground level on article 2(3) land or land which is on a highway; or
- (ii) together with any antenna support structures on the mast, exceed the width of the existing mast and any antenna support structures on it by more than one third, at any given height.

Officer Comments:

The proposed monopole is 20m and is not located within article 2(3) land or land which is on highway. As such, it is in accordance with Condition A.1 - (1)(c)(i) of Schedule 2, Part 16 of The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended).

Development not permitted: radio equipment housing

(9) Development consisting of the installation, alteration or replacement of radio equipment housing is not permitted by Class A(a) if:

(a) the development is not ancillary to the use of any other electronic communications apparatus;

(b) the cumulative volume of such development would exceed 90 cubic metres or, if located on the roof of a building, the cumulative volume of such development would exceed 30 cubic metres; or

(c) on any article 2(3) land, or on any land which is, or is within, a site of special scientific interest, any single development would exceed 2.5 cubic metres, unless the development is carried out in an emergency.

Officer Comments:

The total accumulative radio equipment housing would be 2.9 cubic metres, therefore the proposal is in accordance with Condition A.1 - (9)(b) of Schedule 2, Part 16 of The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended).

## **7.02 Density of the proposed development**

Not applicable to this application.

## **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

The application site does not lie within an archaeology priority zone, conservation area nor does it comprise of a listed building. However the application site is immediately adjacent to the Eastcote Village Conservation Area and will impact the setting of the Conservation Area and the setting of No. 9 Cheyney Street which is Grade II listed.

The Planning (Listed Building and Conservation Areas) Act 1990, requires that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area. The character of this area is largely derived from its semi-rural setting and low-density housing of varied design, including large detached houses as well as bungalows.

Paragraph 112 of the NPPF (2019) advises that advanced, high quality communications infrastructure is essential for sustainable economic growth and social well-being. The development of high speed broadband technology and other communications networks also plays a vital role in enhancing the provision of local community facilities and services.

Policy DMHB 1 of the Local Plan: Part Two -Development Management Policies (2020) notes the Council will expect development proposals to avoid harm to the historic environment.

The NPPF does not suggest that this should necessarily be a priority to outweigh all others; it is still necessary to balance the undoubted benefits to be gained by businesses and homes against other material considerations, such as the visual amenity of the conservation area, potential for damage to tree routes, and the safe use of the Borough's pavements, that may legitimately come within consideration of 'siting'. Any implication for the security of adjacent land or buildings also legitimately comes within 'siting', and is also a relevant consideration for the operators in applying the Communications Act.

The positioning of the telecommunication equipment in the proposed location would erode this rhythm and diminish the openness which plays a part of the attractiveness of this streetscape. The proposed telecommunication pole are of an unwieldy and visually prominent appearance, with the size of the monopole disproportionately large in the context

of the streetscene. The proposals, due to their siting and height would be visually prominent and have an unacceptable appearance and negative impact on the streetscape contrary to Policy HE1 of the Local Plan: Part One (2012) and Policy DMHB 1 of the Local Plan: Part Two - Development Management Policies (2020).

#### **7.04 Airport safeguarding**

Policy DMAV 1 of The Local Plan: Part 2 - Development Management Policies (2020) states that proposals that may be hazard to aircraft safety will not be permitted.

No objections to this application was received. Should the application be considered acceptable, an informative relating to cranes should be included within the decision notice.

#### **7.05 Impact on the green belt**

Not applicable to this application.

#### **7.07 Impact on the character & appearance of the area**

Policy DMHB 11 of the The Local Plan: Part 2 - Development Management Policies (2020) states that all development, will be required to be designed to the highest quality standards and, incorporate principles of good design including: harmonising with the local context by taking into account the surrounding scale of development, considering the height, mass and bulk of adjacent structures; local topography, views both from and to the site; impact on neighbouring open spaces and their environment; and ensuring the use of high quality building materials and finishes.

Policy DMHB 12 of the The Local Plan: Part 2 - Development Management Policies (2020) states that development should be well integrated with the surrounding area and accessible. It should: i) improve legibility and promote routes and wayfinding between the development and local amenities; ii) ensure public realm design takes account of the established townscape character and quality of the surrounding area; iii) include landscaping treatment that is suitable for the location, serves a purpose, contributes to local green infrastructure, the appearance of the area and ease of movement through the space; iv) provide safe and direct pedestrian and cycle movement through the space; v) incorporate appropriate and robust hard landscaping, using good quality materials, undertaken to a high standard; vi) where appropriate, include the installation of public art; and vii) deliver proposals which incorporate the principles of inclusive design. Proposals for gated developments will be resisted.

Policy DMHB 21 of The Local Plan: Part 2 - Development Management Policies (2020) states that Telecommunication development will only be permitted where: i) it is sited and designed to minimise their visual impact; ii) it does not have a detrimental effect on the visual amenity, character or appearance of the building or the local area; iii) it has been demonstrated that there is no possibility for use of alternative sites, mast sharing and the use of existing buildings; iv) there is no adverse impact on areas of ecological interest, areas of landscape importance, archaeological sites, Conservation Areas or buildings of architectural or historic interest; and v) it includes a Declaration of Conformity with the International Commission on Non Ionizing Radiation.

The proposed new mast is 20 metres high with 3 cabinets located on a corner grass verge. The cabinets range in height from 1.2 to 1.75 metres and have an overall footprint of 2.9 cubic metres.

The site is set back from the highway, however it remains fairly exposed and is therefore highly visible when viewed from the immediate street scene and the surrounding area. The proposed 20m high telecommunications mast would appear as a prominent feature on

Holloway Lane and would have a detrimental impact on the openness, character and appearance of the street scene. In addition, due to the open nature and high visibility of the site, the proposed telecommunications installation would appear as an incongruous addition to the area.

There is currently no street furniture of this size and height. When compared to the adjacent light pole and the streetscene, the 20m high monopole will appear unduly dominant and intrusive. The overall height would be significantly over and above the surrounding area.

Whilst the mast is to provide 5G services, the proposal will add undue clutter to the streetscene which will have a significant negative impact on the visual amenity of adjacent residents and to the area in general. It would harm the character and appearance of the street scene and as such, the proposal is contrary to Policy BE1 of The Local Plan: Part 1 - Strategic Policies (2012) and Policies DMHB 11, DMHB 12 and DMHB 21 of The Local Plan: Part 2 - Development Management Policies (2020).

#### **7.08 Impact on neighbours**

Policy DMHB 11 of The Local Plan: Part 2 - Development Management Policies (2020) seeks to ensure that developments do not adversely impact on the amenity of adjacent properties, and seeks to protect outlook.

The nearest residential dwellings is situated 9m to the north of the application site. The proposal would result in an overbearing impact on the amenity of the neighbouring property which it would sit directly outside.

#### **7.09 Living conditions for future occupiers**

Not applicable to this application.

#### **7.10 Traffic impact, car/cycle parking, pedestrian safety**

The Council's Highway's Officer has commented on this application and no objections has been raised. The site is located on the grass verge therefore will not impact on the footpath, pedestrian or highways safety.

#### **7.11 Urban design, access and security**

Refer to Section 7.07 of this report.

#### **7.12 Disabled access**

Not applicable to this application.

#### **7.13 Provision of affordable & special needs housing**

Not applicable to this application.

#### **7.14 Trees, Landscaping and Ecology**

Policy DMHB 14 of The Local Plan: Part 2 - Development Management Policies (2020) states that all developments will be expected to retain or enhance existing landscaping, trees, biodiversity or other natural features of merit.

The site is located on a tarmaced pavement. There are no trees that would be impacted by this proposal. However the proposal would have a notable visual impact on the verdant setting of the surrounding area.

#### **7.15 Sustainable waste management**

Not applicable to this application.

#### **7.16 Renewable energy / Sustainability**

Not applicable to this application.

#### **7.17 Flooding or Drainage Issues**

Not applicable to this application.

**7.18 Noise or Air Quality Issues**

Not applicable to this application.

**7.19 Comments on Public Consultations**

Refer to Section 6.1 of this report.

**7.20 Planning Obligations**

Not applicable to this application.

**7.21 Expediency of enforcement action**

Not applicable to this application.

**7.22 Other Issues**

HEALTH:

In terms of potential health concerns, the applicant has confirmed that the proposed installation complies with the ICNIRP (International Commission for Non Ionising Radiation Protection) guidelines. Accordingly, in terms of Government policy advice, there is not considered to be any direct health impact. Therefore, further detailed technical information about the proposed installation is not considered relevant to the Council's determination of this application.

**8. Observations of the Borough Solicitor**

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

## Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

### **9. Observations of the Director of Finance**

Not applicable to this application.

### **10. CONCLUSION**

The application seeks prior approval for the installation of a ground-base apparatus consisting of 1 x 20m monopole and 3 cabinets and ancillary works under Schedule 2, Part 16 of the Town and Country Planning (General Permitted Development) Order 2015 (as amended).

The siting of the proposal would result in an unacceptable impact on visual amenity and the character and appearance of the area. Therefore, it is contrary to Policies BE1 and HE1 of The Local Plan: Part 1 - Strategic Policies (2012) and Policies DMHB 1, DMHB 11, DMHB 12 and DMHB 21 of The Local Plan: Part 2 - Development Management Policies (2020).

It is recommended that prior approval be required and that permission be refused.

### **11. Reference Documents**

Hillingdon Local Plan: Part One - Strategic Policies (November 2012)  
Hillingdon Local Plan: Part Two - Development Management Policies (January 2020)  
The London Plan (2016)  
National Planning Policy Framework (2019)  
The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended)

**Contact Officer:** Zenab Haji-Ismail

**Telephone No:** 01895 250230



**Notes:**

 Site boundary

For identification purposes only.  
 This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act).  
 Unless the Act provides a relevant exception to copyright.  
 © Crown copyright and database rights 2020 Ordnance Survey 100019283

Site Address:

**Telecommunications at Jun Brindle Road & Cheney Street, Brindle Road, Eastcote**

**LONDON BOROUGH OF HILLINGDON**  
 Residents Services  
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 01895 250111

Planning Application Ref:

**75666/APP/2020/2552**

Scale:

**1:1,250**

Planning Committee:

**North Page 54**

Date:

**September 2020**



**HILLINGDON**  
 LONDON

## Report of the Head of Planning, Transportation and Regeneration

**Address** LAND AT GARAGE BLOCK SOUTHBOURNE GARDENS RUISLIP

**Development:** Three storey building comprising 6 x 2-Bedroom flats with associated car and cycle parking and amenity space, involving demolition of existing garages

**LBH Ref Nos:** 72211/APP/2020/1728

**Drawing Nos:** 1547.A1.BR07 A  
1547.A1.BR08  
Planning Statement  
1547.A2.PL02 Rev A  
1547.A2.PL01  
1547.A2.PL03 Rev A  
1547.A2.PL04 Rev A  
Design and Access Statement  
Southbourne Gardens Surface Water Drainage Strategy  
Daylight and Sunlight Assessment  
Phase 1 Ecology Survey  
The Location Plan

**Date Plans Received:** 08/06/2020                      **Date(s) of Amendment(s):**

**Date Application Valid:** 23/06/2020

### 1. SUMMARY

This application proposes a building set on the same footprint and of the same dimensions as the building approved under application 72211/APP/2019/664 to demolish two garage blocks of 18 garages and erect a three storey building providing 6 x 2 bedroom flats with associated landscaping and parking. Application 72211/APP/2019/664 was approved on 27/9/19 subject to a S106 agreement to address parking pressure issues. This application includes a small 0.5m increase in depth of the front lobby at ground floor level only and makes alterations to the approved roof, incorporating a small crown, set between the two side ridges. It would not significantly increase the scale of the building or bring the built form above first floor level any closer to the neighbouring properties to that previously considered.

It is therefore recommended for approval subject to a S106 agreement, in accordance with the previous application 72211/APP/2019/664.

### 2. RECOMMENDATION

**That delegated powers be given to the Head of Planning, Transportation and Regeneration to grant planning permission, subject to the following:**

**A. That the Council enter into a legal agreement with the applicant under Section 106 of the Town and Country Planning Act 1990 (as amended) to secure the following:**

**(i) The residents of this development not to be eligible for parking permits, apart from Blue Badge holders and a charge made against the site to ensure the future buyers are aware of the parking restrictions.**

**C) That the applicant meets the Council's reasonable costs in the preparation of the Section 106 agreement/Deed of Variation and any abortive work as a result of the agreement not being completed.**

**D) That officers be authorised to negotiate and agree the detailed terms of the proposed agreement and conditions of approval.**

**E) That if any of the heads of terms set out above have not been agreed and the S106 Agreement has not been finalised before the 30th October 2020, or any other period deemed appropriate that delegated authority be given to the Head of Planning, Transportation and Regeneration to refuse the application for the following reason:**

**'The development has failed to secure obligations relating to the restriction of residents' parking permits. Accordingly, the proposal is contrary to policy DMT 2 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) and the Council's Supplementary Planning Document Planning Obligations (July 2014).**

**F) That subject to the above, the application be deferred for determination by the Head of Planning, Transportation and Regeneration under delegated powers, subject to the completion of the legal agreement under Section 106 of the Town and Country Planning Act 1990 and other appropriate powers with the applicant.**

**G) That if the application is approved, the following conditions be attached:-**

**1 RES3 Time Limit**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

**REASON**

To comply with Section 91 of the Town and Country Planning Act 1990

**2 RES4 Accordance with Approved Plans**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 1547.A2.PL02 Rev A; 1547.A2.PL03 Rev A and 1547.A2.PL04 Rev A, and shall thereafter be retained/maintained for as long as the development remains in existence.

**REASON**

To ensure the development complies with the provisions of the Hillingdon Local Plan Part 1 (2012), Part 2 (2020) and the London Plan (2016).

**3 RES7 Materials (Submission)**

Prior to the commencement of any superstructure works details of all materials and external surfaces shall have been submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be constructed in accordance with the approved details and be retained as such.

Details should include information relating to make, product/type, colour and photographs/images.

## REASON

To ensure that the development presents a satisfactory appearance in accordance with Policy DMHB 11 of the Hillingdon Local Plan Part 2 (2020).

### **4 RES10 Tree to be retained**

Trees, hedges and shrubs shown to be retained on the approved plan(s) shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority. If any retained tree, hedge or shrub is removed or severely damaged during (or after) construction, or is found to be seriously diseased or dying, another tree, hedge or shrub shall be planted at the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier. Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'

Remedial work should be carried out to BS BS 3998:2010 'Tree work - Recommendations' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

## REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy DMHB 14 of the Hillingdon Local Plan Part 2 (2020) and to comply with Section 197 of the Town and Country Planning Act 1990.

### **5 RES9 Landscaping (car parking & refuse/cycle storage)**

No development shall take place until a landscape scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include: -

1. Details of Soft Landscaping
  - 1.a Planting plans (at not less than a scale of 1:100),
  - 1.b Written specification of planting and cultivation works to be undertaken,
  - 1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate
  
2. Details of Hard Landscaping
  - 2.a Refuse Storage
  - 2.b Cycle Storage
  - 2.c Means of enclosure/boundary treatments
  - 2.d Car Parking Layouts (including demonstration that 5% of all parking spaces are served by electrical charging points)
  - 2.e Hard Surfacing Materials
  - 2.f External Lighting
  - 2.g Other structures (such as play equipment and furniture)
  
3. Details of Landscape Maintenance
  - 3.a Landscape Maintenance Schedule for a minimum period of 5 years.
  - 3.b Proposals for the replacement of any tree, shrub, or area of surfing/seeding within the

landscaping scheme which dies or in the opinion of the Local Planning Authority becomes seriously damaged or diseased.

### 3. Schedule for Implementation

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

#### REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with policies DMHB 11, DMHB 12, DMHB 14, DMEI 1 and DMT 2 of the Hillingdon Local Plan Part 2 (2020) and Policies 5.11 (living walls and roofs) and 5.17 (refuse storage) of the London Plan (2015).

### **6 RES15 Sustainable Water Management (changed from SUDS)**

Prior to the commencement of the superstructure works details of a scheme for the provision of sustainable water management has been submitted to and approved in writing by the Local Planning Authority. The scheme shall clearly demonstrate that sustainable drainage systems (SUDS) have been incorporated into the designs of the development in accordance with the hierarchy set out in accordance with Policy 5.15 of the London Plan and will:

- i. provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;
- ii. include a timetable for its implementation; and
- iii. provide a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime.

The scheme shall also demonstrate the use of methods to minimise the use of potable water through water collection, reuse and recycling and will:

- iv. provide details of water collection facilities to capture excess rainwater;
- v. provide details of how rain and grey water will be recycled and reused in the development.

Thereafter the development shall be implemented and retained/maintained in accordance with these details for as long as the development remains in existence.

#### REASON

To ensure the development does not increase the risk of flooding in accordance with Policy DMEI 10 of the Hillingdon Local Plan Part 2 (2020) and London Plan (2016) Policy 5.12.

### **7 RES24 Secured by Design**

The dwelling(s) shall achieve 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO). No dwelling shall be occupied until accreditation has been achieved.

#### REASON

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in excising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to ensure the development provides a safe and secure

environment in accordance with policy DMHB 15 of the Local Plan Part 2 (2020) and London Plan (2015) Policies 7.1 and 7.3.

#### **8 NONSC Accessible Units**

The development hereby approved shall ensure that the residential units are constructed to meet the standards for Category 2 M4(2) dwellings, as set out in Approved Document M to the Building Regulations (2010) 2015, and all such provisions shall remain in place for the life of the building.

#### **REASON**

To ensure that an appropriate standard of housing stock, in accordance with London Plan Policy 3.8 (c), is achieved and maintained.

#### **9 NONSC Parking allocation scheme**

The residential units hereby approved shall not be occupied until a parking allocation scheme has been submitted to, and approved in writing by, the Local Planning Authority. The parking allocation scheme shall, as a minimum, include a requirement that all on-site car parking shall be allocated and dedicated for the use of each of the residential units hereby approved and shall remain allocated and dedicated in such a manner for the life-time of the development.

#### **REASON**

To ensure that an appropriate level of car parking provision is provided on site in accordance with Policy DMT6 of the Hillingdon Local Plan Part 2 (2020) and Chapter 6 of the London Plan (March 2016).

### **INFORMATIVES**

#### **1 159 Councils Local Plan : Part 1 - Strategic Policies**

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant Local Plan Part 2 (2020), then London Plan Policies (2016). Hillingdon's Full Council adopted the Hillingdon Local Plan: Part 1 - Strategic Policies on 8 November 2012 and the Hillingdon Local Plan Part 2 on 16 January 2020.

#### **2 147 Damage to Verge - For Council Roads:**

The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

For Private Roads: Care should be taken during the building works hereby approved to ensure no damage occurs to the verge of footpaths on private roads during construction. Vehicles delivering materials to this development shall not override or cause damage to a private road and where possible alternative routes should be taken to avoid private roads. The applicant may be required to make good any damage caused.

### **3 115 Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit ([www.hillingdon.gov.uk/noise](http://www.hillingdon.gov.uk/noise) Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

## **3. CONSIDERATIONS**

### **3.1 Site and Locality**

The application site covers an area of approximately 870 square metres and currently accommodates 18 garages set in two blocks running along the western and eastern boundaries. The site falls within a predominantly residential area and is bounded by residential properties on all sides.

To the north of the site is Ottawa House a three storey flatted development and 35-37 Dollis Crescent a two storey block of 2 flats recently constructed on land formerly garages. To the west are the ends of the gardens of nos. 2-8 Dollis Crescent and to the east, nos. 1-6 Green Lawns and to the south nos. 54-60 Southbourne Gardens. Access is provided via a narrow driveway off Southbourne Gardens, located between nos. 58 & 60 and no.62.

### **3.2 Proposed Scheme**

The application seeks planning consent for the demolition of the garages and the erection of a three storey building to provide 6 x 2-bed self-contained flats with associated parking and amenity space.

### **3.3 Relevant Planning History**

72211/APP/2018/4029 Land At Garage Block Southbourne Gardens Ruislip

Three storey building comprising of 4 x 2-bed and 2 x 1-bed self-contained flats with parking and extension to access, involving demolition of existing garages.

**Decision:** 15-01-2019 Refused

72211/APP/2019/664 Land At Garage Block Southbourne Gardens Ruislip

Three storey building comprising of 6 x 2-bed flats with associated parking and amenity space involving demolition of existing garages.

**Decision:** 27-09-2019 Approved

72211/APP/2020/128 Land At Garage Block Southbourne Gardens Ruislip

Details pursuant to condition 3 (Materials) of planning permission Ref: 72211/APP/2019/664 dated 8/01/2020 (Three storey building comprising of 6 x 2-bed flats with associated parking and amenity space, involving demolition of existing garages)

**Decision:** 27-02-2020 Approved

72211/APP/2020/1500 Land At Garage Block Southbourne Gardens Ruislip

Non-material amendment to Planning Permission Ref:72211/APP/2019/664 (Three storey building comprising of 6 x 2-bed flats with associated parking and amenity space, involving demolition of existing garages) for amendments to approved plans

**Decision:** 28-05-2020 Refused

72211/APP/2020/480 Land At Garage Block Southbourne Gardens Ruislip

Four storey building comprising 8 x 2 Bedroom flats with associated car and cycle parking and amenity space involving demolition of existing garages.

**Decision:** 17-06-2020 Refused

72211/APP/2020/878 Land At Garage Block Southbourne Gardens Ruislip

Details pursuant to conditions 4 (Landscape), 5 (Trees), 6 (Drainage) , 7 (Construction Logistic Plan) and 10 (Parking) of planning permission Ref: 72211/APP/2019/664 dated 8/01/2020 (Three storey building comprising of 6 x 2-bed flats with associated parking and amenity space, involving demolition of existing garages)

**Decision:** 23-06-2020 Refused

### **Comment on Relevant Planning History**

There have been three previous applications for the development of the site creating a three storey building comprising 6 self contained units, The first was withdrawn and the second submission was refused on the basis of the impact on the privacy of the neighbouring properties, insufficient parking and failure to provide a step free approach to the principle entrance. The subsequent application 72211/APP/2019/664 addressed these concerns and was approved on 27/9/19 subject to a S106 to address parking pressure issues.

A submission for a four storey building was refused on the basis of the size and scale of

the proposal; its failure to provide adequate amenity space and failure to provide a unit mix including sufficient family sized units.

#### **4. Planning Policies and Standards**

London Borough of Hillingdon Development Plan (from 6th April 2020)

1.1 Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise.

1.2 The Development Plan for the London Borough of Hillingdon currently consists of the following documents:

The Local Plan: Part 1 - Strategic Policies (2012)

The Local Plan: Part 2 - Development Management Policies (2020)

The Local Plan: Part 2 - Site Allocations and Designations (2020)

West London Waste Plan (2015)

The London Plan - Consolidated With Alterations (2016)

1.3 The National Planning Policy Framework (NPPF) (2019) is also a material consideration in planning decisions, as well as relevant supplementary planning documents and guidance.

Emerging Planning Policies

1.4 Paragraph 48 of the National Planning Policy Framework (NPPF) 2019 states that 'Local Planning Authorities may give weight to relevant policies in emerging plans according to:

(a) the stage of preparation of the emerging plan (the more advanced its preparation, the greater the weight that may be given);

(b) the extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given); and

(c) the degree of consistency of the relevant policies in the emerging plan to this Framework (the closer the policies in the emerging plan to the policies in the Framework, the greater the weight that may be given).

Draft London Plan (Intend to Publish Version, December 2019)

1.5 The GLA consulted upon a draft new London Plan between December 2017 and March 2018 with the intention of replacing the previous versions of the existing London Plan. The Plan was subject to examination hearings from February to May 2019, and a Consolidated Draft Plan with amendments was published in July 2019. The Panel of Inspectors appointed by the Secretary of State issued their report and recommendations to the Mayor on 8th October 2019.

1.6 The Mayor has considered the Inspectors' recommendations and, on 9th December 2019, issued to the Secretary of State his intention to publish the London Plan along with a statement of reasons for the Inspectors' recommendations that the Mayor did not wish to accept. The Secretary of State responded on the 13th March 2020 and stated that he was exercising his powers under section 337 of the Greater London Authority Act 1999 to direct that modifications are required. These are set out at Annex 1 of the response, however the letter does also state that if the Mayor can suggest alternative changes to policies that would address the concerns raised, these would also be considered.

1.7 More limited weight should be attached to draft London Plan policies where the Secretary of State has directed modifications or where they relate to concerns raised within the letter. Greater weight may be attached to policies that are not subject to modifications from the Secretary of State or that do not relate to issues raised in the letter.

## **UDP / LDF Designation and London Plan**

The following Local Plan Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

DMH 2 Housing Mix

DMHB 11 Design of New Development

DMHB 12 Streets and Public Realm

DMHB 14 Trees and Landscaping

DMHB 16 Housing Standards

DMHB 18 Private Outdoor Amenity Space

DMT 2 Highways Impacts

DMT 6 Vehicle Parking

LPP 3.3 (2016) Increasing housing supply

LPP 3.4 (2015) Optimising housing potential

LPP 3.5 (2016) Quality and design of housing developments

LPP 3.8 (2016) Housing Choice

LPP 5.13 (2016) Sustainable drainage

LPP 6.13 (2016) Parking

NPPF- 2 NPPF-2 2018 - Achieving sustainable development

NPPF- 5 NPPF-5 2018 - Delivering a sufficient supply of homes

NPPF- 11 NPPF-11 2018 - Making effective use of land

NPPF- 12 NPPF-12 2018 - Achieving well-designed places

## **5. Advertisement and Site Notice**

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

## **6. Consultations**

### **External Consultees**

56 neighbours and the Eastcote Residents Association were consulted for a period of 21 days expiring on the 16 July 2020. 13 responses were received raising the following issues:

- The proposal is for a four storey again, even though this was previously quashed
- Object if this proposal includes any additional windows overlooking the neighbours
- It was conditioned that trees and bushes were to be retained for privacy but all the greenery has been cleared. No action has been taken by the Council
- Loss of privacy

- Pavements on Southbourne have been damaged effecting safety of pedestrians
- Construction traffic will block the road causing queues
- No data has been provided to determine the flats would not cause parking issues
- The previous report advised there would be no overlooking the new build has windows facing our properties resulting in overlooking and loss of privacy
- When the neighbouring properties were bought they did not know that an unsightly high rise flat would be built impacting on the outlook and view from the gardens
- Overdominance
- Insufficient parking causing displacement onto the streets
- Loss of value of my house
- Concern that the builder has chosen to go ahead prior to receiving consent
- Loss of light
- Building works continuous even on bank holidays

### **Internal Consultees**

Access Officer - Any grant of planning permission must include conditions for the provision of a step free access and compliance with building regulations.

Highways - The application has been reviewed by the Highway Authority who are satisfied that the proposal would not discernibly exacerbate congestion or parking stress, and would not raise any measurable highway safety concerns, in accordance with Local Plan Part 2 Development Plan Policies DMT 1, DMT 2 & DMT 6 and Policies 6.3, 6.9, and 6.13 of the London Plan (2016).

Officer response: It was identified in the previously approved application (72211/APP/2019/664) that as the location exhibits a low PTAL level of 2 there should be a provision toward the maximum end of the standard as dependency i.e. ownership/usage related to private motor transport is heightened as a result. As a consequence there are some concerns with regard to the on-plot parking under-provision as it may impact on the immediate highway in parking displacement terms. However this aspect of concern can be countered by the site address being made 'Resident Permit Restricted' in order to prevent future occupiers from obtaining parking permits for the local area within the adjacent CPZ. The applicant indicated agreement to this mechanism which will help deter excess car ownership/usage from within the site. This was secured by legal agreement under Section 106 of the Town and Country Planning Act 1990 (T&CPA 1990).

Trees/Landscaping - This site has been the subject of previous applications, including ref. 2018/4029 which was refused. No tree report has been submitted although the 2018 application included a tree report by AD Tree Consulting, dated October 2017. The report identified and assessed the condition and value of 16 trees and one group. There were no 'A' grade trees. Two trees were category 'B': T1 lime and T3 ash which were worthy of retention. Of these two T1 was due to be protected and retained, but T3 (close to the site entrance) was to be removed to facilitate the development. The remaining trees were 'C' grade specimens which are not normally regarded as constraints on development. Full tree protection details and an arboricultural method statement should be submitted prior to the commencement of work on site. No detailed information has been submitted regarding the proposed landscape details. If you are minded to approve this application, landscape conditions should be imposed.

RECOMMENDATION No objection subject to pre-commencement condition RES8 and post-commencement conditions RES9 (parts 1,2,4 and 5) and RES10.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

The proposed site is located within the 'Developed Area' as identified in the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012). The site is not located in a Conservation Area and the building is not Listed. There are no policies which prevent the

demolition of the existing garages and the erection residential units, in principle.

### **7.02 Density of the proposed development**

Policy 3.4 of the London Plan (2016) seeks to ensure that the new development takes into account local context and character, the design principles in Chapter 7 and public transport capacity development should optimise housing output for different types of location within the relative density range shown in Table 3.2. Development proposals which compromise this policy should be resisted.

The density matrix, however, is only of limited value when looking at small scale development such as that proposed with this application. In such cases, it is often more appropriate to consider how the development harmonises with its surroundings and its impact on adjoining occupiers.

### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

Not relevant to this proposal.

### **7.04 Airport safeguarding**

Not relevant to this proposal.

### **7.05 Impact on the green belt**

Not relevant to this proposal.

### **7.07 Impact on the character & appearance of the area**

Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) states that all new developments should achieve a high quality of design in all new buildings and the public realm contributes to community cohesion and a sense of place.

Policy DMHB 11 of the Local Plan: Part Two - Development Management Policies (2020) advises that all development will be required to be designed to the highest standards and incorporate principles of good design. It should take into account aspects including the scale of the development considering the height, mass and bulk of adjacent structures; building plot sizes and established street patterns; building lines and streetscape rhythm and landscaping.

Policy DMHB 12 advises that development should be well integrated with the surrounding area. It should ensure public realm design takes account of the established townscape character and quality of the surrounding area.

The proposed building measures a maximum of 14.8m in width, 10.5m in depth and 10m in height. The building is designed with a slightly staggered front and rear elevation and two storey front projections on either side of the front elevation. The highest point is the ridge line above the side projections which is linked by a small central crown at right angles of 9.55m. The proposal maintains the footprint and details of the previously approved building but has replaced the central ridge with a small crown of 1.9m in depth. Given the position of this detail, set between the higher side ridges, it is not considered this would significantly impact on the character and appearance of the building and would not be widely visible from the wider streetscene. To the front of the lobby is proposed a small extension of 0.5m in depth and 2.4m in width set beneath a pitched roof of 3.15m in height. This is a relatively minor addition, which is considered acceptable.

Overall, the design and layout of the building is considered acceptable in the context of the site and surrounding area and to not have a detrimental impact on the character and appearance of the street scene. It is considered that the proposed development would be in keeping with the character and appearance of the surrounding area and that its visual

impact is acceptable, in accordance with policies BE13 and BE19 of the UDP saved policies.

## **7.08 Impact on neighbours**

Policy DMHB 11 of the Local Plan: Part Two - Development Management Policies (2020) advises that all development will be required to be designed to the highest standards and incorporate principles of good design. It should also not adversely impact on the amenity, daylight and sunlight of adjacent properties and open space. The Council will aim to ensure that there is sufficient privacy for residents and it will resist proposals where there is an unreasonable level of overlooking between habitable rooms of adjacent residential properties or onto private open spaces. A minimum of 21m separation distance between windows of habitable rooms will be required to maintain privacy. The Council will also expect new development proposals to carefully consider layout and massing in order to ensure development does not result in an increased sense of enclosure and loss of outlook.

The proposed building is set on the same footprint and of the same dimensions as the previously approved building. It is set back towards the rear of the site, positioned 1m off the western boundary, 3.85m from the eastern boundary and a minimum of 4.4m off the northern (rear) boundary. The principle windows to the new properties will all face front and rear. To the front of the building, the rear elevation of nos. 54-56 is situated approximately 21m away with private patio areas to the side of a rear projection at the same minimum distance. To the west nos. 2-8 Dollis Crescent have good sized rear gardens backing onto the site and would maintain a minimum of 28.5m to the shared boundary, as such it is not considered the proposal would significantly impact on the amenity of those occupiers. To the north, the front elevations of nos. 29-37 Dollis Crescent are separated by in excess of 22m. Ottawa House is orientated at nearly 45 degrees from the application property with the corner of that building approximately 17.6m away. It is noted that the rear windows of the proposed flats would face the rear amenity space of the flats within Ottawa House however as this is a communal area already overlooked by the other flats in Ottawa House it would be unreasonable to object on this basis. To the east the rear elevation of nos. 1-4 Green Lawns would face the application site set back a minimum of 13.15m from the side wall of the proposal. However the submitted plans indicate that the nearest habitable room window would maintain a minimum 15m distance from the blank flank wall of the proposal. This proposal includes a small 0.5m increase in depth of the front lobby at ground floor level only and makes alterations to the approved roof, incorporating a small crown, set between the two side ridges. It would not significantly increase the scale of the building or bring the built form above first floor level any closer to the neighbouring properties to that previously considered. As such it is not considered the proposed building would result in an unacceptable degree of over dominance, visual intrusion, over shadowing or loss of privacy to the detriment of the neighbouring occupiers. Therefore the proposal would comply with the aims of Policy BE1 (Built Environment) of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and Policy DMHB 11 of the Local Plan: Part Two - Development Management Policies (2020).

## **7.09 Living conditions for future occupiers**

Residential Amenity of future occupiers

London Plan Policy 3.5 seeks to ensure that all housing developments are of the highest quality, both internally and externally and in relation to their context and the wider environment.

Policy DMHB 16 sets out the minimum internal floor space required for developments in order to ensure that there is an adequate level of amenity for existing and future occupants. The standards require a three person 2 bed flat should have a minimum floor area of

61sqm.

The internal floor areas for the proposed flats measure 61sqm in accordance with adopted policy.

It is considered that all the proposed habitable rooms, and those altered by the extension, would maintain an adequate outlook and source of natural light, therefore complying with Policy 3.5 of the London Plan (2016).

Policy DMHB 18 advises that all new residential development will be required to provide good quality and useable private outdoor amenity space. In assessing the quality of all amenity space in development proposals, consideration will be given to the shape and position and whether the layout has regard to matters such as daylight and sunlight. Table 5.3 identifies a requirement of 25sqm for each 2 bed property, giving a total requirement of 150sqm. The layout plan shows a minimum provision of approximately 250sqm, including 2 areas of private garden area to protect the privacy of future occupiers of flats 1 and 2 and a larger communal garden area. The proposal therefore complies with Policy DMHB 18.

#### **7.10 Traffic impact, car/cycle parking, pedestrian safety**

Local Plan: Part 2 Policies DMT 1 and DMT 2 require the Council to consider whether the traffic generated by proposed developments is acceptable in terms of the local highway and junction capacity, traffic flows and conditions of general highway or pedestrian safety.

In comparison to the previous garage uses when they were fully active, the level of traffic generation is anticipated to be lower for the proposal. A two-way movement not exceeding 2-3 vehicles per hour during both peak traffic periods would be anticipated which is considered de-minimis in generation terms and therefore can be absorbed within the local road network without notable detriment to traffic congestion and road safety.

##### Car parking

Local Plan: Part 2 Policy DMT 6 requires that new development will only be permitted where it accords with the Council's adopted parking standards unless it can be demonstrated that a deviation from the standard would not result in a deleterious impact on the surrounding road network.

The proposal would require an on-plot provision of up to 1-1.5 parking spaces per unit totalling up to 6-9 spaces to fully comply with Hillingdon's adopted parking standard and a quantum of 6 are proposed. This level of provision broadly conforms to the adopted maximum standard. It is noted that the extant permission for 6 flats incorporated a provision of 6 on-plot parking spaces without objection.

##### Disabled Compliant Parking Provision

In accord with the Local Plan Part 2 parking standard - 10% of parking spaces should be disabled compliant equating to 1 space. This can be secured by planning condition.

##### Electric Vehicle Charging Point (EVCP) Provision

In line with the emerging London Plan, within the final parking quantum there is a requirement for a 20% 'active' EVCP provision with all remaining spaces (80%) being designated as 'passive' provisions.

It is noted that it can be reasonably argued that any 'active' space provision could in theory restrict/prevent the use of the 'active' bays for 'non-electrified' cars thereby, in operational terms, lowering secured on-plot parking provisions which are a key consideration when

determining a planning application and should be avoided.

To help remedy this anomaly, it is recommended that the 20/80 'active'/'passive' percentage mix (1/5 space/s respectively) is applied to the proposed 6 spaces under an internal site parking and allocation management regime whereby the 'active' bay (20%) is managed on a demand-led principle and performs a dual function. This would entail allowing use of the 'active' bay by residents who do not own electric/hybrid vehicles for the duration of their occupancy. The bays would therefore be fully primed and ready once residents commit to a 'non-fossil' fuel vehicle. The remaining 5 bays should be designated as 'passive' provisions.

In terms of cycle parking there would be a provision of at least 1 secure and accessible space for each housing unit in order which conforms to Hillingdon's cycle parking standard. A total of 10 spaces are indicated on-plan which conforms to the standard.

#### Vehicular Access and Parking Arrangements

Parking is arranged in communal fashion and would be accessed via an existing and narrow private access road. The roadway would function as a shared surface accommodating both pedestrian and vehicle movements which conforms to the DfT (Manual for Streets circa 2007) best practice for road and parking layouts given the respective low flows involved.

In addition there is also a highway safety benefit from the sufficient turning space within the site arrangement which would allow vehicles (including emergency fire tenders and service vehicles) to enter and leave the site in a forward gear which is the recommended practice on highway safety grounds.

The existing aperture to the site displays a dropped kerb arrangement which is considered inadequate to cater for the anticipated vehicle movements into and out of the site. Some revisions are therefore considered necessary in terms of minor widening etc in accord with the Council's carriageway crossing standard. Such works would need to be undertaken to an appropriate Council specification most likely under a S278 (Highways Act 1980) agreement (or suitable alternative arrangement) at the applicant's expense.

#### Construction Logistics Plan (CLP)

A full and detailed CLP will be a requirement given the significant constraints and sensitivities of the local residential road network in order to avoid/minimise potential detriment to the public realm. It will need to be secured under a suitable planning condition.

Officer comment: The previously approved development has been implemented and is substantially complete. The Highways Officer has advised that there is no need for a condition for the submission of a CLP on that basis.

### **7.11 Urban design, access and security**

#### Operational Refuse Requirements

Refuse collection will be conducted via Southbourne Gardens with the need to enter the site. A main bin storage location is indicated in proximity of the new build and would be within the Council's 'waste collection' maximum distance parameter of 10m i.e. distance from a refuse vehicle to the point of collection. However, an on-plot site management regime should ensure that waste generated by each of the 8 units is transferred to this collection point on collection days. This is usually undertaken informally as it is in the interest of the new occupiers to have their waste collected.

### **7.12 Disabled access**

Any grant of planning permission must include conditions for the provision of a step free access and compliance with building regulations.

#### **7.13 Provision of affordable & special needs housing**

Not relevant to this proposal.

#### **7.14 Trees, Landscaping and Ecology**

The Landscape Officer has advised that No tree report has been submitted although the 2018 application included a tree report by AD Tree Consulting, dated October 2017. The report identified and assessed the condition and value of 16 trees and one group. There were no 'A' grade trees. Two trees were category 'B': T1 lime and T3 ash which were worthy of retention. Of these two T1 was due to be protected and retained, but T3 (close to the site entrance) was to be removed to facilitate the development. The remaining trees were 'C' grade specimens which are not normally regarded as constraints on development. Full tree protection details and an arboricultural method statement should be submitted prior to the commencement of work on site. These details could be conditioned if all other aspects of the proposal were acceptable.

#### **7.15 Sustainable waste management**

Not relevant to this proposal

#### **7.16 Renewable energy / Sustainability**

Not relevant to this proposal

#### **7.17 Flooding or Drainage Issues**

The Flood and Water Management Officer previously advised that properties on Southbourne Gardens have experienced surface water flooding in recent years and as such it is important that surface water is appropriately managed on the site. Details for a surface water drainage strategy could be conditioned for submission if all other aspects of the proposal were acceptable.

#### **7.18 Noise or Air Quality Issues**

Not relevant to this proposal

#### **7.19 Comments on Public Consultations**

There was an error on the description on the application form, advising the proposal was for a four storey building. The plans showed a three storey building and the agent confirmed error and the description amended at the start of the consultation period.

Noise and disturbance from construction is considered transitory in nature and as such is not sufficient reason for refusal in its own right.

The previous report identifies that there are windows facing the neighbouring properties, but this also identifies the distances, which would comply with policy and is sufficient to not result in a significant loss of privacy.

There is no right to a view within planning considerations.

The impact on the value of a property is not a material planning consideration.

The builders could commence work under the previously approved scheme, which is substantially the same as this proposal.

#### **7.20 Planning Obligations**

The Council adopted its own Community Infrastructure Levy (CIL) on August 1st 2014 and the Hillingdon CIL charge for additional floorspace for residential developments is £95 per square metre and office developments of £35 per square metre. This is in addition to the

Mayoral CIL charge of £40 per square metre.

#### **7.21 Expediency of enforcement action**

Not relevant.

#### **7.22 Other Issues**

None.

### **8. Observations of the Borough Solicitor**

#### General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

#### Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

#### Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

#### Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities

must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

#### **9. Observations of the Director of Finance**

Not applicable

#### **10. CONCLUSION**

The proposal is not considered have a negative impact upon the visual amenity of the site or the surrounding area, would not result in an unacceptable loss of residential amenity to neighbouring occupiers and would provide a satisfactory level of residential amenity to future occupiers. The Highway Authority have raised no objections.

#### **11. Reference Documents**

Hillingdon Local Plan Part 1 - Strategic Policies (November 2012).

Hillingdon Local Plan Part 2 (Jan 2020).

The London Plan (2016).

Supplementary Planning Document 'Accessible Hillingdon'.

National Planning Policy Framework.

**Contact Officer:** Liz Arnold

**Telephone No:** 01895 250230



**Notes:**

 Site boundary

For identification purposes only.  
 This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act).  
 Unless the Act provides a relevant exception to copyright.  
 © Crown copyright and database rights 2020 Ordnance Survey 100019283

Site Address:

**Land at Garage Block  
 Southbourne Gardens,  
 Ruislip**

**LONDON BOROUGH  
 OF HILLINGDON**  
 Residents Services  
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 01895 250111

Planning Application Ref:

**72211/APP/2020/1728**

Scale:

**1:1,250**

Planning Committee:

**North Page 72**

Date:

**September 2020**



**HILLINGDON**  
 LONDON

## Report of the Head of Planning, Transportation and Regeneration

**Address** HUME WAY RUISLIP

**Development:** Installation of a 20m monopole, 12 no. antenna apertures, equipment cabinets and ancillary reworks thereto (Application under Part 16 of Schedule 2 to the Town and Country Planning (General Permitted Development) Order 2015 (as amended) for determination as to whether prior approval is required for siting and appearance).

**LBH Ref Nos:** 54873/APP/2020/2457

**Drawing Nos:** HGN032 - Covering Letter - GPDC  
HGN032 - Developers Notice  
HGN032 Pre-Con Letter to Northolt Jet Centre  
HGN032-70284 Signed Declaration of Conformity with ICNIRP Public Exposure Guidelines  
20180905 Mobile UK Councils and Connectivity September 2018  
Connected Growth Manual  
DCMS MHCLG Collaborating for Digital Connectivity  
Government response to the consultation on proposed reforms to permitted development rights to support the deployment of 5G and extend mobile coverage  
Matt Warman MP letter on 5G broadband\_RFCWG19-19  
Mobile UK 5G Health QA Information Paper 2019  
MBNL 5G and Future Technology - Delivering the UK's Telecoms Future  
002 Site Location Plan Rev. C (received 11.8.20)  
216 Max Configuration Site Plan - Sheet 2 Rev. C (received 11.8.20)  
266 Max Configuration Elevation - Sheet 2 Rev. C (received 11.8.20)  
216 Max Configuration Site Plan - Sheet 2 Rev. C (received 11.8.20)  
Supplementary Information (received 11.8.20)

**Date Plans Received:** 07/08/2020      **Date(s) of Amendment(s):** 07/08/2020

**Date Application Valid:** 07/08/2020

### 1. SUMMARY

This application seeks prior approval for a telecommunications installation under Schedule 2, Part 16 of the Town and Country Planning (General Permitted Development) Order 2015 (as amended). This proposal is for the installation of a 20m monopole with cabinet at base, 12 x antenna apertures, 7 x equipment cabinets and ancillary reworks thereto. The new mast is to provide EE Limited and Hutchison 3G UK Limited (H3G) 5G coverage and to support the existing mobile network.

The proposal is considered to be an obtrusive form of development which would add visual clutter to the street scene. The proposal would not harmonise with the character of the area and would be detrimental to local visual amenities. As such, it fails to comply with Policies DMHB 11, DMHB 12 and DMHB 21 of The Local Plan: Part 2 - Development Management Policies (2020) and the National Planning Policy Framework (2019).

This application is recommended for Refusal.

### 2. RECOMMENDATION

## **REFUSAL for the following reasons:**

### **1 NON2 Non Standard reason for refusal**

The proposed development, by reason of the siting in this open prominent position, size, scale and design of the proposed monopole and the size, scale and siting of the equipment cabinets, would create an obtrusive form of development which would add visual clutter to the detriment of the character, appearance and visual amenities of the street scene. The proposal is therefore contrary to Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies DMHB 11, DMHB 12 and DMHB 21 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) and the National Planning Policy Framework (February 2019).

### **2 NON2 Non Standard reason for refusal**

In the absence of an appropriate appraisal of the surrounding area, the submission fails to adequately assess whether there are other more appropriate sites available for the development, in accordance with Paragraph 115 of the NPPF (February 2019) and Policy DMHB 21 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020).

## **INFORMATIVES**

### **1 I52 Compulsory Informative (1)**

The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

### **2 I53 Compulsory Informative (2)**

The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Local Plan Part 1 (2012) and Part 2 (2020) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including The London Plan - The Spatial Development Strategy for London consolidated with alterations since 2011 (2016) and national guidance.

DMHB 11	Design of New Development
DMHB 21	Telecommunications
DMHB 14	Trees and Landscaping
DMT 2	Highways Impacts
DMAV 1	Safe Operation of Airports
NPPF- 10	NPPF-10 2018 - Supporting high quality communications

### **3 I71 LBH worked applicant in a positive & proactive (Refusing)**

In dealing with the application the Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies from the Local Plan Part 1, Local Plan Part 2, Supplementary Planning Documents, Planning Briefs and other informal written guidance, as well as offering a full pre-application advice service.

We have however been unable to seek solutions to problems arising from the application as the principal of the proposal is clearly contrary to our statutory policies and negotiation

could not overcome the reasons for refusal.

#### 4

The applicant is advised that the consultation contact for RAF Northolt is DIO-Safeguarding-Statutory@mod.gov.uk.

#### 5

The applicant is advised the information in the Supplementary Information document does not reflect the information on the proposed plans provided in regards to a rendered wall.

### 3. CONSIDERATIONS

#### 3.1 Site and Locality

The proposed application site is located on the north side of Hume Way, south of no. 1-2 Hale End Close on a narrow grass verge between the pedestrian footpath and highway. The proposed telecommunication equipment directly faces onto the two lane highway and to the north of the site, there is a wide grass area comprising a number of mature, dense foliage trees. There is a telegraph pole that is in close proximity to the proposal, that spans from the north-west grass area of the application site across to the opposite side of the street towards, no. 182 Eastcote Road.

The site is 160 metres north-west of Highgrove Nature Reserve and 146 metres from Highgrove Pool and Fitness Centre and Bishop Ramsey Church of England School. The surrounding area of the site is predominately residential in nature, mainly comprising of two-storey high terraces and three storey high flats, however at the end of Hume Way on the south-east is the Highgrove Pool and Fitness Centre and the Bishop Ramsey Church of England School.

There is an existing telecommunication site 85.5 metres south-east to the application site, adjacent to no. 2 Campbell Close and the zebra crossing. The existing telecommunications are also operated by EE and H3G.

#### 3.2 Proposed Scheme

This application seeks to install a new 20m monopole with base cabinet, 12 x antenna apertures, 7 x equipment cabinets and ancillary reworks thereto.

The proposed cabinet dimensions:

- 1200mm (W) x 500mm (D) x 1700mm (H)
- 1230mm (W) x 400mm (D) x 1032mm (H)
- 600mm (W) x 600mm (D) x 1200mm (H)
- 600mm (W) x 600mm (D) x 1800mm (H)
- 600mm (W) x 600mm (D) x 1800mm (H)
- 2000mm (W) x 750mm (D) x 1850mm (H)
- 600mm (W) x 600mm (D) x 1900mm (H)
- 1600mm (W) x 700mm (D) x 1600mm (H) with 20m monopole above  
(Volume of equipment housing = 8.51 cubic metres)

Material:

No materials have been specified in the plans or the supplementary information.

In the Supplementary Information document, there is mentioning of a "rendered wall" that will be constructed to provide screening, however, this was not included in the plans provided. As such, it is noted that there is a discrepancy between the proposed plans and the supporting documents. An informative have been added to advise of this discrepancy.

It should be acknowledged that this proposal is to install a new mast. An existing 13.7m high telecommunication mast with 4 cabinets is located 85.5 metres south-east to the application site, adjacent to no. 2 Campbell Close and the zebra crossing. The existing telecommunication equipment are also operated by EE and H3G.

### 3.3 Relevant Planning History

54873/APP/2020/2371 Hume Way Ruislip

Installation of a 20m monopole , 12 no. antenna apertures, equipment cabinets and ancillary reworks thereto (Application under Part 16 of Schedule 2 to the Town and Country Planning (General Permitted Development) Order 2015 (as amended) for determination as to whether pri approval is required for siting and appearance).

**Decision:** 05-08-2020 Withdrawn

54873/APP/2020/721 Hume Way Ruislip

Installation of a 20m monopole, 12 x antenna apertures, equipment cabinets, the removal of the existing 13.7m monopole, 3 x antennas, redundant equipment cabinets and development ancilla thereto.

**Decision:** 17-06-2020 Refused

#### Comment on Relevant Planning History

A full planning permission under planning application ref: 54873/APP/2020/721 was refused on 19-06-20 for the Installation of a 20m monopole, 12 x antenna apertures, equipment cabinets, the removal of the existing 13.7m monopole, 3 x antennas, redundant equipment cabinets and development ancillary thereto. The application was refused on grounds that the proposed installation of the telecommunications monopole, combined with apertures and 8 different equipment cabinets, would increase street clutter along this section of Hume Way resulting in harm the character and appearance of the immediate street scene contrary to Policy BE1 of the Hillingdon Local Plan: Part One and Policies DMHB 11, DMHB 12 and DMHB 21 of the Local Plan: Part Two - Development Management Policies (2020) and Chapter 10 of the National Planning Policy Framework (March 2012). The location, overall height of equipment and the number of the cabinets proposed is the same as the current application.

A Prior Approval under planning application ref: 54873/APP/2000/551 was determined with no further action dated 12-10-01 for the installation of a ground based 12 metres high 'streetworks' monopole mast with associated antennas, equipment cabinet and ancillary development. The site is located on land adjacent to 1-3 Campbell Close Hume Way.

It should be noted that the documents submitted indicates that the existing site adjacent to 1-3 Campbell Close is a 13.7m high monopole with four cabinets, however there are no planning records available in regards to the existing monopole.

### 4. Planning Policies and Standards

Policy DMHB 21 of The Local Plan: Part 2 - Development Management Policies (2020) states that telecommunication development will only be permitted where:

- i) it is sited and designed to minimise their visual impact;
- ii) it does not have a detrimental effect on the visual amenity, character or appearance of the building or the local area;
- iii) it has been demonstrated that there is no possibility for use of alternative sites, mast sharing and the use of existing buildings;
- iv) there is no adverse impact on areas of ecological interest, areas of landscape importance, archaeological sites, Conservation Areas or buildings of architectural or historic interest; and
- v) it includes a Declaration of Conformity with the International Commission on Non Ionizing Radiation.

Chapter 10 of the National Planning Policy Framework (2019) stresses the importance of advanced, high quality and reliable communications infrastructure and the role it plays in supporting sustainable economic growth. It goes on to advise that the aim should be to keep the numbers of radio and telecommunications masts and sites to a minimum, consistent with the efficient operation of the network and that existing masts and sites should be used unless there is a demonstrable need for a new site.

The aim of this application is to install an additional mast to the area to provide 5G network and to improve coverage and capacity for EE Limited and Hutchison 3G UK Limited (H3G). A cell search have been undertaken and were discounted.

It is noted that the other sites were discounted due to the following reasons:

- Rooftop - There are no tall buildings within the area capable of addressing the network requirements for this location, the building required in excess of 15m in height and can accommodate the required equipment structurally and space wise.
- Existing Telecommunication Sites (Existing MBNL Mast, Hume Way) - The existing mast currently in place is not capable of accommodating for the 5G equipment, in its current form. Due to the lack of room caused by the underground utilities, the new mast and its associated equipment cabinets would not be able to fit in the exact location.
- Rooftop (Highgrove Pool, Hume Way) - The Pool and Fitness Centre's rooftop, is located 90m from the existing site and due to intervening buildings and tree cover; a replacement site here will not match the existing coverage pattern and would result in a less efficient network deployment. Furthermore, the structural integrity of the building would not be able to accommodate the required level of equipment.
- Greenfield - There is not enough room upon the pavement at Hale End to accommodate for a telecommunications base station, thereby a mast in this location would have an unacceptable impact upon highway safety.

As emphasised in the NPPF, evidence that the applicant has explored the possibility of erecting antennas on an existing building, mast or other structure are to be provided should a new mast or base station is proposed. In this instance, although a cell search was undertaken however, the search area appears quite limited with only 3 sites that were examined and discounted. Furthermore, no evidence of potential options were examined towards the existing car park area, north of the Highgrove Pool and Fitness Centre, which would have less visual impact on residential dwellings. As such, the proposal is considered to have fail to adequately investigate alternative solutions for a monopole location.

A signed Declaration of ICNIRP Conformity has been provided as part of this submission.

#### **UDP / LDF Designation and London Plan**

The following Local Plan Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

DMHB 11 Design of New Development

DMHB 21 Telecommunications

DMHB 14 Trees and Landscaping

DMT 2 Highways Impacts

DMAV 1 Safe Operation of Airports

NPPF- 10 NPPF-10 2018 - Supporting high quality communications

## **5. Advertisement and Site Notice**

**5.1** Advertisement Expiry Date:- **4th September 2020**

**5.2** Site Notice Expiry Date:- Not applicable

## **6. Consultations**

### **External Consultees**

A site notice was displayed adjacent to the application site and a total of 228 neighbouring owners/occupiers were consulted. A total of 9 objections have been received.

Summary of comments:

#### Siting/Appearance

- This is an unsightly mast let alone the 8 cabinets that will be along side it and huge impact on people well being. It is amazing that this has already been rejected but again submitted, will money above suppress our lives and to think that we already have a mast not 100 metres from the new proposed site.
- The proposed location would have a detrimental impact on the residential dwellings.
- Has a large footprint obstruction.
- This will massively impact the character and appearance of the current existing street scene, more specifically, the negative feel on the approach into Hume Way from the main Eastcote road entrance. This will not look appealing to the eye and would be clustered hard up against the footway and would result in loss of soft landscaping within the street scene.
- The openness of Hume way is a positive feature as drivers/pedestrians enter into this neighbourhood.
- The proposed 20m monopole, by virtue of its size and siting, and the proposed associated cabinets, by virtue of their siting and number, would create an obtrusive form of development, which would add visual clutter to the detriment of the character and appearance of the current open clear Hume Way street scene. As such, the proposal would not harmonise with the character of the area and would be detrimental to local visual amenities. Hume Way is an open clear wide tree-lined grass verge and has a friendly feel, and this construction will totally contravene that.
- Within the streetscape along Hume Way, the proposer is suggesting that a 20m high monopole is just another vertical feature, which is very patronising. The other vertical features in the immediate area includes, road signage (1-2m high), BT pole (7-10m high and it doesn't have several cabinets underneath it), mature trees (15m, a nice feature of the area), street lighting columns (15m), pelican

crossing lights (max 3m), notice board (2m). A 20m high pole is not another vertical feature. The surrounding street furniture will not screen a 20m pole. It will have a prominent significant detrimental visual impact.

- Even if the pole is of a slim design, and maybe can be hidden behind tree tops, the girth of the pole along with the cabinets can not be hidden, especially in the prominent location proposed here.

- There are several mature trees in this area. The full extent of their canopies is not shown on plan and there is no assessment of their root protection areas (RPA), however, it is evident on site that the space proposed will pose a threat to the trees, which contribute to the green leafy character and appearance of the area. The proposal is therefore detrimental to the visual amenity of the street scene.

- If we consider features like large sign posts, reflective signs, metal rails, disused/discarded items on the street as detrimental features to the character of the road, then a 20m high mobile phone mast with all its accessories in a very prominent location has to be viewed as so massively detrimental that the erection should never even be suggested, let alone being actively considered in a planning application.

- Fail to comply with Hillingdon Local Plans on harmony/children safety/road safety/neighbourhood feel. Mast cannot be described as harmonizing with the landscape, being an alien feature and considered as a significant landscape impact. This new site is considered to materially alter the visual amenity of the area due to the more prominent visual position, increased height and the large footprint and size of the cabinets all of which would impact the character and appearance of the existing current open friendly street scene - features that are considered desirable to retain and enhance in any neighbourhood.

- There is a significant increase in the scale of telecommunications development on Hume Way. As mentioned by the proposer, the existing site will be retained at the bottom of Hume Way, but now neighbours have another visually detrimental cluster to the North of Hume Way. Surely, having 2 cluttered spaces and 2 poles on the same road does not create any harmony but would destroy the character of the leafy road, and would not contribute to the easy movement of people through the space.

#### Case Officer's Comments:

Concerns in relations to appearance and impact of the neighbours is addressed in the main body of this report.

#### Health/Safety

- Too much doubt about health effects with these installations.

- I have significant concerns about the frequency from this construction and its health & safety impacts on us nearby residents and neighbours. There are children, a school nearby, a gym/swimming pool, elderly people and many more - plenty of people passing by on a daily basis who can be adversely impacted on a health & safety level by this construction.

- According to numerous Scientists quoted in Scientific American, there is no reason to believe 5G is safe. These EMFs have been shown in many recent studies to cause increased cancer risk, cellular stress, increase in harmful free radicals, genetic damages, structural and functional changes of the reproductive system, learning and memory deficits, neurological disorders, and negative impacts on general well-being in humans. 5G also uses millimetre waves unlike previous wavelengths. This has been shown to be mostly absorbed within a few millimetres of human skin and in the surface layers of the cornea. It is claimed by some Medical professionals that long term exposure can potentially damage our eyes. I would strongly urge the council not to install such devices in the borough and I especially do not want one build less than 100 metres from my home. The technology has not been proven to be safe for long term exposures and many studies on 2G, 3G and 4G show their detrimental effects on humans and animals. It hasn't even been properly tested for basic safety as it's being rushed in so fast. Aside from all the medical and scientific evidence, is it a coincidence that since these Lampposts (with in built transmitters) have been installed, that I as an almost 30 year resident have (in the last few years) suffered from a lack of recall and mixing up words.

- The microwave frequency, noise and heat emitted from these machines have not be shared. The

immediate and long term impact of these have not been discussed.

- Several neighbours in the immediate vicinity of this development are ill-health patients and have been urged to shield during the Corona virus. Along with several young children and pregnant mothers, the safety evidence supporting the radiation emitted from 5G apparatus has not been conclusive.
- The visual openness of the current area is child friendly. Several children in the area play with their bikes in the area in a safe friendly environment, and this massive construction will pose a health and safety risk.

#### Case Officer's Comments:

The applicant has submitted a signed Declaration of Conformity with ICNIRP Public Exposure Guidelines therefore acknowledging the proposal would be in full compliance with the requirement of the Radio Frequency (RF) Public Exposure.

#### Amenity

- The proposer suggests that the impact to immediate properties will be minimal. I strongly disagree with this statement. There are several properties that will be directly impacted by this with several windows and doors facing this huge pole in the immediate vicinity - unsightly.
- The proposer admits that there are several residential dwellings present within the immediate close area that will be affected. To mention that only two windows look towards Hume Way is totally misleading the whole argument. It's the presence of a massive 20m pole along with several huge clustered cabinets that will be seen everytime we step onto the road.
- Considering the windows - what about natural sunlight into the rooms that might be compromised due to large 12 antennas blocking the sun? Right to Light!!
- The proposed development would be highly visible, and will negatively impact on neighbourhood harmony. I think the site is too close to its proximity to residential dwellings and would lose people's sense of place, safety and security. These dwellings are within 8-10m of the proposed site.

#### Highways

- Linear arrangements of several cabinets (each typically 1.5 m high x 1.1m long and 0.5-0.8m deep as per proposer notes) on the verges along Hume Way will look like a cluster and block visual inspection for vehicles drivers, and that will impact on the road safety.
- The proposer mentions that a rendered wall will be constructed to provide screening for residents and road users to retain the character of Hume Way. However, by doing this, they create obstruction for road users, which potentially could lead to RTAs.
- Inconvenience of heavy traffic and machinery during the construction phase of development on the only access point at Hume Way serving the whole neighbourhood dwellings in the area.

#### Others

- Substantial amenity value/price of this area and its surrounding dwellings will be negatively compromised by the presence of this mast.
- Alternative site that can be considered including upgrading existing site and opt for taller replacement mast (20m), mast sharing, installing roofpod on Highgrove Pool Centre rooftop, consider installing antennas on lamp post, consider cell sites near electricity pylons, consider discarded/abandoned or no longer operational mast in the area or along Eastcote road.
- Questions to the proposed: What happens when shift in demand is expected to increase in the foreseeable future? Will that result in another apparatus/cabinet installed to accommodate increased demand? What health safety measures and guarantees are in place against 5G radiation/frequencies / noise? How much improvement in network coverage will the new site with 20m mast provide especially in areas without mobile coverage (so called "not spots")? Our very own experience from the existing mast (50m away), currently experiencing internet download speed of 99.8mbps. We have perfect 4G network signal using Vodafone and O2. Even checking with our neighbours who are using Vodafone, EE, and other networks and they have not struggled with reception. How much improvement will we get specifically? Most of the benefits that the proposer

has mentioned we already get through the 4G network from the existing mast (~50m away) at the bottom of Hume Way. How much improvement will we get by having 2 masts within 50 metres of each other? What's the impact on natural wildlife health? On what basis does the proposer choose new sites? What is the radius for network around a phone mast?

- The other alternative sites that were deemed to be unfavourable by the proposer, maybe they were deliberately chosen to make it seem like the proposed siting is really the only sensible alternative. I live within 8-10m away from this proposed site, and surely, I will say that this is not sensible choice. I would like to see a survey undertaken to determine whether this site will substantially improve network coverage and improve our lives, homes, or livelihoods.

MOD Safeguarding - RAF NORTHOLT:

No comments were received at the time this report was written.

### **Internal Consultees**

HIGHWAYS OFFICER:

This is an application for the installation on a monopole and related cabinets on an area of highways grass verge. This location does not impact on public footway or pedestrian desire lines. The minimal servicing and maintenance requirements can be undertaken on unrestricted highway close to the site. There are no highway objections to this proposal.

TREES/LANDSCAPE OFFICER:

No comments received.

Case Officer's Comments:

No objections were raised by the Tree/Landscape Officer in the previous application under ref: 54873/APP/2020/721, which is of similar nature to this proposal. As such, the previous comment should remain applicable to this application.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

Schedule 2, Part 16 of The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) states:

Permitted development

A. Development by or on behalf of an electronic communications code operator for the purpose of the operator's electronic communications network in, on, over or under land controlled by that operator or in accordance with the electronic communications code, consisting of -

- (a) the installation, alteration or replacement of any electronic communications apparatus,
- (b) the use of land in an emergency for a period not exceeding 6 months to station and operate moveable electronic communications apparatus required for the replacement of unserviceable electronic communications apparatus, including the provision of moveable structures on the land for the purposes of that use, or
- (c) development ancillary to radio equipment housing.

Development not permitted: ground-based apparatus

A.1 - (1) Development consisting of the installation, alteration or replacement of electronic communications apparatus (other than on a building) is not permitted by Class A(a) if:

- (a) in the case of the installation of electronic communications apparatus (other than a

mast), the apparatus, excluding any antenna, would exceed a height of 15 metres above ground level;

(b) in the case of the alteration or replacement of electronic communications apparatus (other than a mast) that is already installed, the apparatus, excluding any antenna, would when altered or replaced exceed the height of the existing apparatus or a height of 15 metres above ground level, whichever is the greater;

(c) in the case of the installation of a mast, the mast, excluding any antenna, would exceed a height of:

- (i) 25 metres above ground level on unprotected land; or
- (ii) 20 metres above ground level on article 2(3) land or land which is on a highway; or

(d) in the case of the alteration or replacement of a mast, the mast, excluding any antenna, would when altered or replaced;

- (i) exceed the greater of the height of the existing mast or a height of:
  - (aa) 25 metres above ground level on unprotected land; or
  - (bb) 20 metres above ground level on article 2(3) land or land which is on a highway; or
- (ii) together with any antenna support structures on the mast, exceed the width of the existing mast and any antenna support structures on it by more than one third, at any given height.

Case Officer's Comments:

The proposed monopole is 20m and is not located within article 2(3) land or land which is on highway. As such, it is in accordance with Condition A.1 - (1)(c)(i) of Schedule 2, Part 16 of The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended).

Development not permitted: radio equipment housing

(9) Development consisting of the installation, alteration or replacement of radio equipment housing is not permitted by Class A(a) if:

(a) the development is not ancillary to the use of any other electronic communications apparatus;

(b) the cumulative volume of such development would exceed 90 cubic metres or, if located on the roof of a building, the cumulative volume of such development would exceed 30 cubic metres; or

(c) on any article 2(3) land, or on any land which is, or is within, a site of special scientific interest, any single development would exceed 2.5 cubic metres, unless the development is carried out in an emergency.

Case Officer's Comments:

The total accumulative radio equipment housing would be 8.51 cubic metres, therefore the proposal is in accord with Condition A.1 - (9)(b) of Schedule 2, Part 16 of The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended).

## **7.02 Density of the proposed development**

Not applicable to the consideration of this application.

## **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

The site is not located in an archaeology priority area, a conservation area or in an area of special character. The site is not a listed building or near one.

#### **7.04 Airport safeguarding**

Policy DMAV1 of The Local Plan: Part 2 - Development Management Policies (2020) states that proposals that may be hazard to aircraft safety will not be permitted.

The application site is situated 2.18km from Northolt Aerodrome. MOD Safeguarding - RAF Northolt was consulted however, at the time that this report was written, no response have been received.

#### **7.05 Impact on the green belt**

Not applicable to the consideration of this application, this site is not located within the Green Belt.

#### **7.06 Environmental Impact**

Not applicable to the consideration of this application.

#### **7.07 Impact on the character & appearance of the area**

Policy DMHB 11 of the The Local Plan: Part 2 - Development Management Policies (2020) states that all development, will be required to be designed to the highest quality standards and, incorporate principles of good design including: harmonising with the local context by taking into account the surrounding: scale of development, considering the height, mass and bulk of adjacent structures; local topography, views both from and to the site; impact on neighbouring open spaces and their environment; and ensuring the use of high quality building materials and finishes.

Policy DMHB 12 of the The Local Plan: Part 2 - Development Management Policies (2020) states that development should be well integrated with the surrounding area and accessible. It should: i) improve legibility and promote routes and wayfinding between the development and local amenities; ii) ensure public realm design takes account of the established townscape character and quality of the surrounding area; iii) include landscaping treatment that is suitable for the location, serves a purpose, contributes to local green infrastructure, the appearance of the area and ease of movement through the space; iv) provide safe and direct pedestrian and cycle movement through the space; v) incorporate appropriate and robust hard landscaping, using good quality materials, undertaken to a high standard; vi) where appropriate, include the installation of public art; and vii) deliver proposals which incorporate the principles of inclusive design. Proposals for gated developments will be resisted.

Policy DMHB 21 of The Local Plan: Part 2 - Development Management Policies (2020) states that Telecommunication development will only be permitted where: i) it is sited and designed to minimise their visual impact; ii) it does not have a detrimental effect on the visual amenity, character or appearance of the building or the local area; iii) it has been demonstrated that there is no possibility for use of alternative sites, mast sharing and the use of existing buildings; iv) there is no adverse impact on areas of ecological interest, areas of landscape importance, archaeological sites, Conservation Areas or buildings of architectural or historic interest; and v) it includes a Declaration of Conformity with the International Commission on Non Ionizing Radiation.

The proposed replacement monopole is 20m high, which is 6.3 metres taller than the adjacent mast in the area (an increase of 46% in height). When viewed from the street, the base of the mast is much bulkier than the existing and is akin to the provision of an extra cabinet at this level. Allied to this, the proposed mast is larger and higher than any existing street furniture in the area, such that it would be much more prominent than any of the

street lighting columns.

The proposed new cabinets will be located in a row along the narrow grass verge. The cabinets range in height from 1 to 1.9 metres. The size, height, and the number of cabinets proposed requires a considerable larger footprint than the existing and the number of cabinets at a height of 1.8m or above totals 4, with a further 4 being just below, where currently there are no cabinets of this size and scale. Thus, the proposed mast and the proposed associated cabinets, by reason of the quantity, size, scale and siting are considered to have a detrimental impact on the character and appearance of the surrounding area.

Furthermore, it should be noted that a previous full planning application (ref: 54873/APP/2020/721) was submitted and refused consent on siting/appearance grounds. The previous proposal and this current proposed scheme is the same however, this application is submitted as a prior approval application. It should be acknowledged that the refusal reasons from the previous application have not been overcome in this application.

In conclusion, the mast is to provide 5G services, the proposal will add undue clutter to the streetscene which will have a significant negative impact on the visual amenity of adjacent residents and to the area in general. It would harm the character and appearance of the street scene and as such, the proposal is contrary to Policy BE1 of The Local Plan: Part 1 - Strategic Policies (2012) and Policies DMHB 11, DMHB 12 and DMHB 21 of The Local Plan: Part 2 - Development Management Policies (2020).

#### **7.08 Impact on neighbours**

Policy DMHB 11 of The Local Plan: Part 2 - Development Management Policies (2020) seeks to ensure that developments do not adversely impact on the amenity of adjacent properties, and seeks to protect outlook for residents, defined as the visual amenity enjoyed by occupants when looking out of their windows.

The nearest neighbours are 13 metres away, no. 1 and 2 Hale End Close is located on the north-east which has two habitable windows on the first floor level that faces directly onto Hume Way and no. 182 Eastcote Road, located just south across the highway.

Based on the location of the proposed telecommunication equipment, the habitable window to no. 1 Hale End Close will be obscured by its Ground Floor level slanted roof and the existing vertical features/trees on the grass area. However, the habitable window to no. 2 Hale End Close will have a directly line of sight of the proposed equipment and mast therefore the proposal would impact on the outlook of the existing residents and this proposal fails to accord with Policy DMHB 11 of The Local Plan: Part 2 - Development Management Policies (2020).

#### **7.09 Living conditions for future occupiers**

Not applicable to the consideration of this application.

#### **7.10 Traffic impact, car/cycle parking, pedestrian safety**

The Council's Highway's Officer has commented on this application and no objections has been raised. The site is located on the grass verge therefore will not impact on the footpath, pedestrian or highways safety.

#### **7.11 Urban design, access and security**

Refer to Section 7.07 of this report.

#### **7.12 Disabled access**

Not applicable to the consideration of this application.

### **7.13 Provision of affordable & special needs housing**

Not applicable to the consideration of this application.

### **7.14 Trees, Landscaping and Ecology**

Policy DMHB 14 of The Local Plan: Part 2 - Development Management Policies (2020) states that all developments will be expected to retain or enhance existing landscaping, trees, biodiversity or other natural features of merit.

The proposed telecommunication equipment and monopole is to be located on the grass verge between the pedestrian footpath and highway. Despite the dense foliage from neighbouring trees, the proposal would not be impacted. As such, the proposal is considered to comply with Policy DMHB 14 of The Local Plan: Part 2 - Development Management Policies (2020).

### **7.15 Sustainable waste management**

Not applicable to the consideration of this application.

### **7.16 Renewable energy / Sustainability**

Not applicable to the consideration of this application.

### **7.17 Flooding or Drainage Issues**

Not applicable to the consideration of this application.

### **7.18 Noise or Air Quality Issues**

Not applicable to the consideration of this application.

### **7.19 Comments on Public Consultations**

Refer to Section 6.1 of this report.

### **7.20 Planning Obligations**

None.

### **7.21 Expediency of enforcement action**

None.

### **7.22 Other Issues**

HEALTH:

In terms of potential health concerns, the applicant has confirmed that the proposed installation complies with the ICNIRP (International Commission for Non Ionising Radiation Protection) guidelines. Accordingly, in terms of Government policy advice, there is not considered to be any direct health impact. Therefore, further detailed technical information about the proposed installation is not considered relevant to the Council's determination of this application.

OTHER:

Under section A.3, Schedule 2, Part 16 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended), it states the following:

"(3) where the proposed development consists of the installation, alteration or replacement of a mast within 3 kilometres of the perimeter of an aerodrome, the developer must notify the Civil Aviation Authority, the Secretary of State for Defence or the aerodrome operator, as appropriate, before making the application required by sub-paragraph (4).

4) Before beginning the development described in paragraph A.2(3), the developer must apply to the local planning authority for a determination as to whether the prior approval of the authority will be required as to the siting and appearance of the development."

The applicant has provided documents that the Northolt Jet Centre was consulted, however, the MOD Safeguarding - RAF Northolt is the aerodrome authority that should have been consulted. An informative has been added.

## **8. Observations of the Borough Solicitor**

### General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

### Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

### Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

### Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

#### **9. Observations of the Director of Finance**

Not applicable

#### **10. CONCLUSION**

The application seeks prior approval for the installation of a ground-base apparatus consisting of a new 20m monopole, 12 x antenna apertures, 7 x equipment cabinets and ancillary reworks thereto (Application under Part 16 of Schedule 2 to the Town and Country Planning (General Permitted Development) Order 2015 (as amended) for determination as to whether prior approval is required for siting and appearance).

The siting of the proposal would result in an unacceptable impact on visual amenity particularly to the adjacent residential dwellings, and the character and appearance of the area. It will add visual clutter to the area in general. Therefore, it is contrary to Policy BE1 of The Local Plan: Part 1 - Strategic Policies (2012) and Policies DMHB 11, DMHB 12 and DMHB 21 of The Local Plan: Part 2 - Development Management Policies (2020).

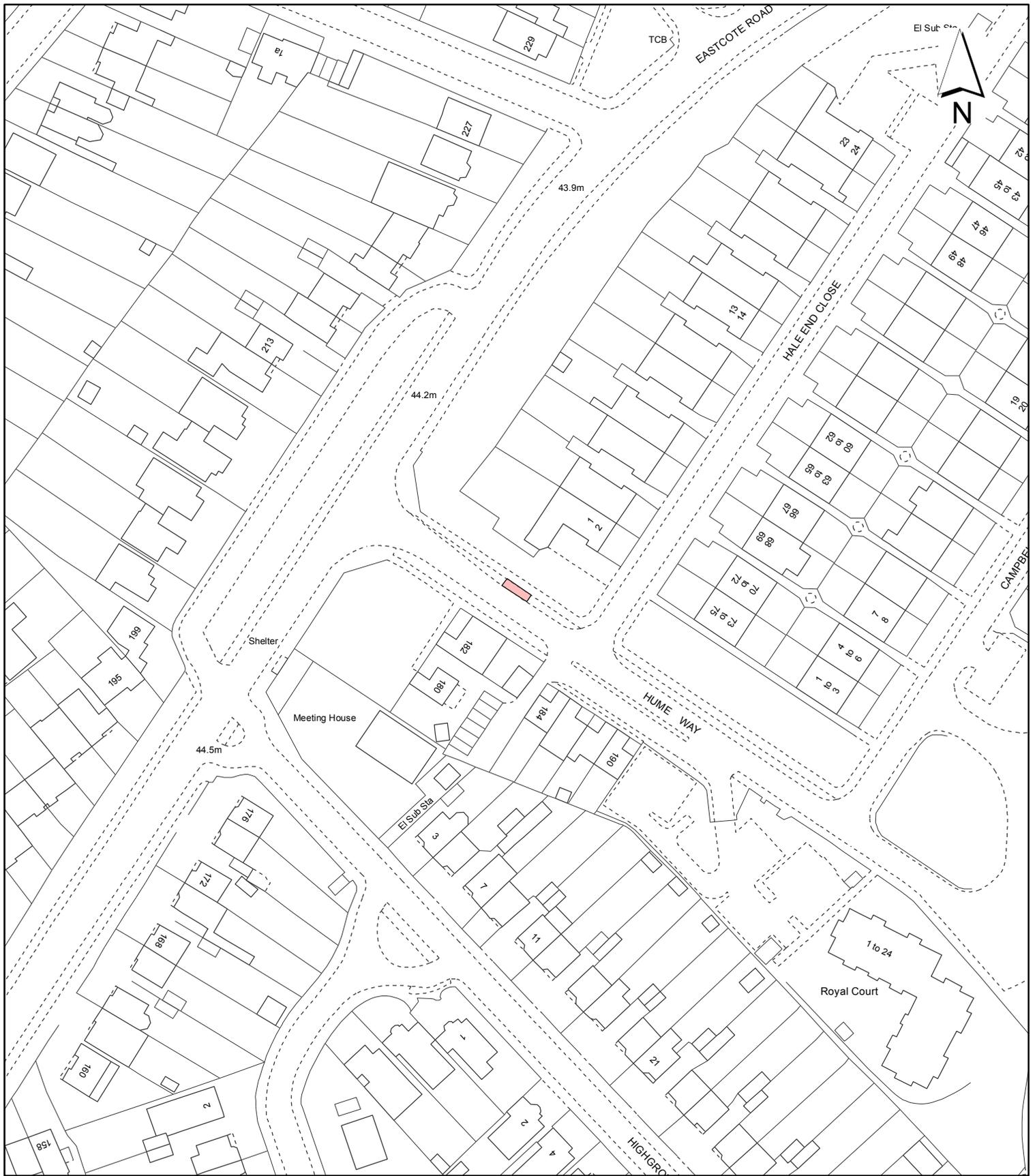
It is recommended that prior approval be required and that permission be refused.

#### **11. Reference Documents**

Hillingdon Local Plan: Part One - Strategic Policies (November 2012)  
Hillingdon Local Plan: Part Two - Development Management Policies (January 2020)  
The London Plan (2016)  
National Planning Policy Framework  
The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended)

**Contact Officer:** Rebecca Lo

**Telephone No:** 01895 250230



**Notes:**

 Site boundary

For identification purposes only.  
 This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act).  
 Unless the Act provides a relevant exception to copyright.  
 © Crown copyright and database rights 2020 Ordnance Survey 100019283

Site Address:

**Hume Way, Ruislip**

**LONDON BOROUGH OF HILLINGDON**  
**Residents Services Planning Section**

Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 01895 250111

Planning Application Ref:

**54873/APP/2020/2457**

Scale:

**1:1,250**

Planning Committee:

**North Page 88**

Date:

**September 2020**



**HILLINGDON**  
 LONDON

STRICTLY NOT FOR PUBLICATION

Exempt information by virtue of paragraph(s) 2, 6a, 7 of Part 1 of Schedule 12A  
of the Local Government Act 1972 (as amended).

# Agenda Item 11

Document is Restricted

This page is intentionally left blank

# Plans for North Applications Planning Committee

Wednesday 16th September  
2020



HILLINGDON  
LONDON

## **Report of the Head of Planning, Transportation and Regeneration**

**Address** LAND TO REAR OF 18 MOOR PARK ROAD NORTHWOOD

**Development:** Erection of a detached 5 x bed dwelling with associated parking and amenity space with new crossover to Grove Road.

**LBH Ref Nos:** 21577/APP/2020/1792

**Date Plans Received:** 12/06/2020

**Date(s) of Amendment(s):**

**Date Application Valid:** 06/07/2020

© This drawing is the property and copyright of KMASS and shall not without written consent be copied, reproduced or communicated to a third party.

Date  
Apr '20

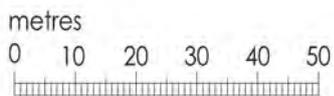
Drawn  
AEV

Scale  
1:1250

Drawing No. **J3745-D-OS**



Location Plan (1:1250)



Scale Bar  
(1:1250)







**GENERAL NOTES**

1. All work shall conform to the Building Code of the City of Northwood.
2. All work shall conform to the applicable codes, ordinances, rules, regulations, and specifications of the relevant building departments and agencies.
3. The Contractor shall verify the location and depth of all existing utilities before commencing any excavation or foundation work.
4. The Contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.
5. The Contractor shall maintain access to all existing utilities and structures at all times.

0 1 2 3 4 5



Scale Bar (1:50)



Proposed First Floor Plan (1:50)

Drawings


Rev: 1

Date: 12/04/20

By: [Signature]

For: [Signature]

Scale: 1:50

Project: [Project Name]

Client: [Client Name]

Address: [Address]

City: [City]

State: [State]

Country: [Country]

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: [Scale]

Project: [Project Name]

Client: [Client Name]

Address: [Address]

City: [City]

State: [State]

Country: [Country]

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: [Scale]

Project: [Project Name]

Client: [Client Name]

Address: [Address]

City: [City]

State: [State]

Country: [Country]

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: [Scale]

Project: [Project Name]

Client: [Client Name]

Address: [Address]

City: [City]

State: [State]

Country: [Country]

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: [Scale]

Project: [Project Name]

Client: [Client Name]

Address: [Address]

City: [City]

State: [State]

Country: [Country]

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: [Scale]

Project: [Project Name]

Client: [Client Name]

Address: [Address]

City: [City]

State: [State]

Country: [Country]

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: [Scale]

Project: [Project Name]

Client: [Client Name]

Address: [Address]

City: [City]

State: [State]

Country: [Country]

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: [Scale]

Project: [Project Name]

Client: [Client Name]

Address: [Address]

City: [City]

State: [State]

Country: [Country]

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: [Scale]

Project: [Project Name]

Client: [Client Name]

Address: [Address]

City: [City]

State: [State]

Country: [Country]

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: [Scale]

Project: [Project Name]

Client: [Client Name]

Address: [Address]

City: [City]

State: [State]

Country: [Country]

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: [Scale]

Project: [Project Name]

Client: [Client Name]

Address: [Address]

City: [City]

State: [State]

Country: [Country]

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: [Scale]

Project: [Project Name]

Client: [Client Name]

Address: [Address]

City: [City]

State: [State]

Country: [Country]

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: [Scale]

Project: [Project Name]

Client: [Client Name]

Address: [Address]

City: [City]

State: [State]

Country: [Country]

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: [Scale]

Project: [Project Name]

Client: [Client Name]

Address: [Address]

City: [City]

State: [State]

Country: [Country]

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: [Scale]

Project: [Project Name]

Client: [Client Name]

Address: [Address]

City: [City]

State: [State]

Country: [Country]

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: [Scale]

Project: [Project Name]

Client: [Client Name]

Address: [Address]

City: [City]

State: [State]

Country: [Country]

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: [Scale]

Project: [Project Name]

Client: [Client Name]

Address: [Address]

City: [City]

State: [State]

Country: [Country]

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: [Scale]

Project: [Project Name]

Client: [Client Name]

Address: [Address]

City: [City]

State: [State]

Country: [Country]

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: [Scale]

Project: [Project Name]

Client: [Client Name]

Address: [Address]

City: [City]

State: [State]

Country: [Country]

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: [Scale]

Project: [Project Name]

Client: [Client Name]

Address: [Address]

City: [City]

State: [State]

Country: [Country]

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: [Scale]

Project: [Project Name]

Client: [Client Name]

Address: [Address]

City: [City]

State: [State]

Country: [Country]

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: [Scale]

Project: [Project Name]

Client: [Client Name]

Address: [Address]

City: [City]

State: [State]

Country: [Country]

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: [Scale]

Project: [Project Name]

Client: [Client Name]

Address: [Address]

City: [City]

State: [State]

Country: [Country]

Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: [Scale]

Project: [Project Name]

Client: [Client Name]

Address: [Address]

City: [City]

State: [State]

Country: [Country]

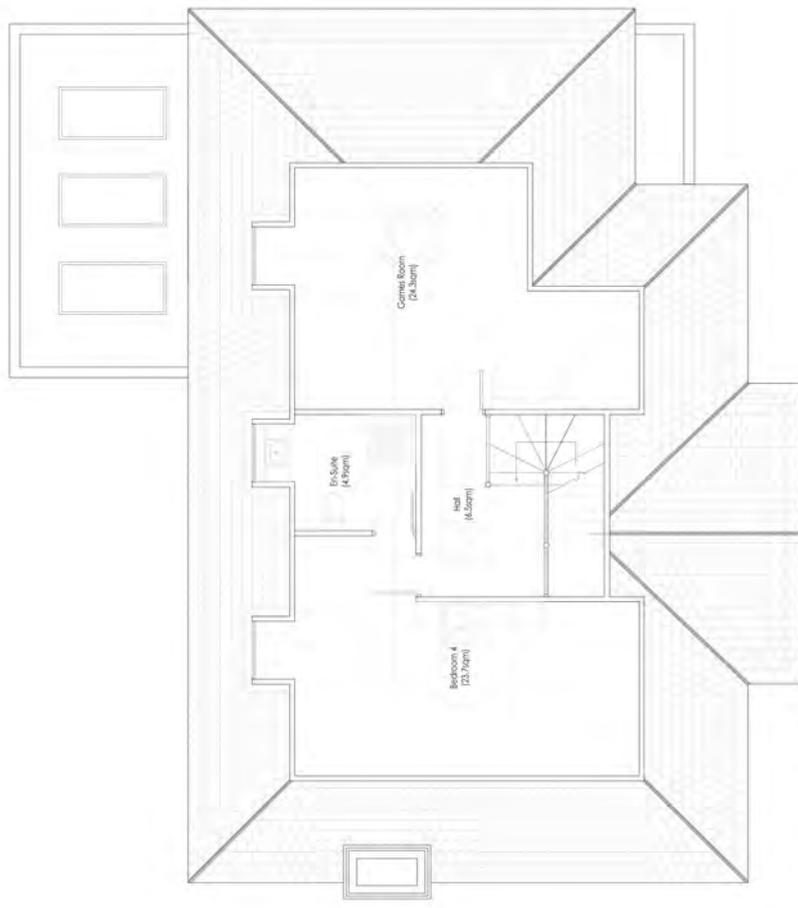
Drawn by: [Name]

Checked by: [Name]

Approved by: [Name]

Date: [Date]

Scale: [Scale]



Proposed Loft Floor Plan (1:50)

**GENERAL NOTES**

1. The Client is responsible for obtaining all necessary planning and building regulations approval.
2. All measurements are shown in metres unless otherwise stated.
3. The Contractor shall design and supply all necessary works and provide a list of materials to be used in the construction of the building and its parts.
4. The Contractor shall be responsible for obtaining all necessary planning and building regulations approval.



Revisions

No	By	Date	Details
1			This drawing is the property and copyright of KMASS and shall not be used without written consent of KMASS. Reproduction or communication to a third party is prohibited.

**FOR PLANNING APPLICATION**

Project:  
Land to Rear of Moor Park Road,  
Northwood

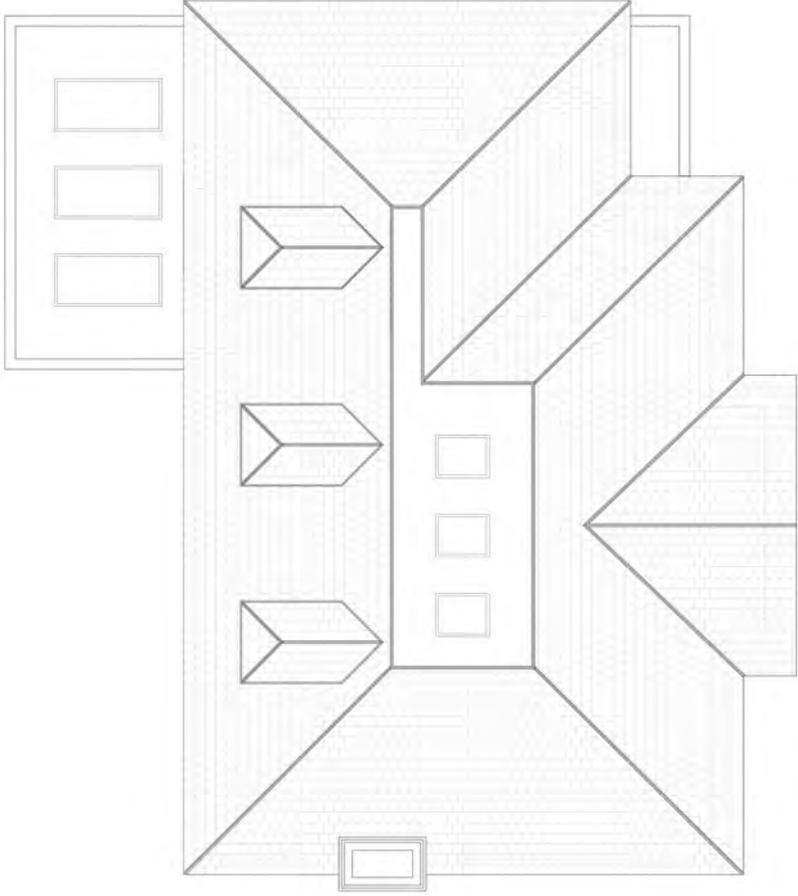
Client:  
Mr Robinson

**KMASS**  
KMASS ARCHITECTS  
24 ALBERT ROAD, NORTHWOOD, MIDDLESEX, M20 2LW  
TEL: 01753 83331  
WWW.KMASSARCHITECTS.CO.UK

Drawing Title:  
Proposed Loft Floor Plan

Scale	Sheet Size	Drawn By	Date
A3	A1	AEV	April '20
Noted	Checked	KMC	Project
		KMASS	

Drawing No: J3745-D-03  
Rev: -



Proposed Roof Plan (1:50)

**GENERAL NOTES**

1. The Client is responsible for obtaining all necessary planning and building regulations approvals.
2. All measurements and dimensions should be taken from the face of the respective work, commencing with the external face of the wall or face of the slab.
3. The Contractor shall design & supply all temporary works & propping & support. These shall be designed to support the full weight of the structure above and any other loads that may be applied. The Contractor must ensure that all temporary works are designed to support the full weight of the structure above and any other loads that may be applied.



Revisions

No	By	Date	Details

© This drawing is the property and copyright of KMASS and shall not be used without written consent of KMASS. Reproduction or communication to a third party is prohibited.

**FOR PLANNING APPLICATION**

Project  
**Land to Rear of Moor Park Road,  
 Northwood**

Client  
**Mr Robinson**

**KMASS**  
 KMASS  
 24 Abbey, Northwood, Greater Manchester, M20 9JG  
 Tel: 0161 275 8300  
 Fax: 0161 275 8301  
 Email: info@kmass.co.uk  
 Website: www.kmass.co.uk

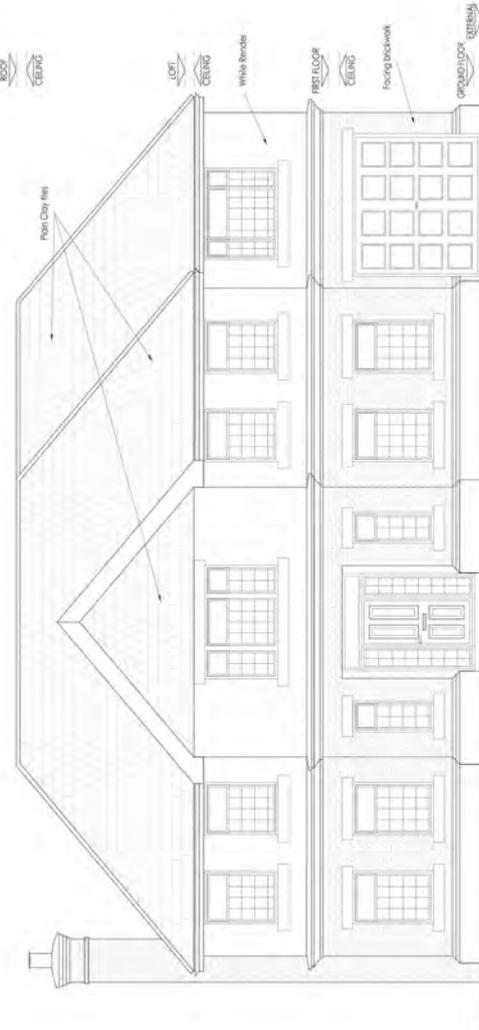
Drawing Title  
**Proposed Roof Plan**

Scale	Sheet No	Design By	AEV	Date
As Noted	A1	Checked	KMC	April '20
		Presented	KMASS	

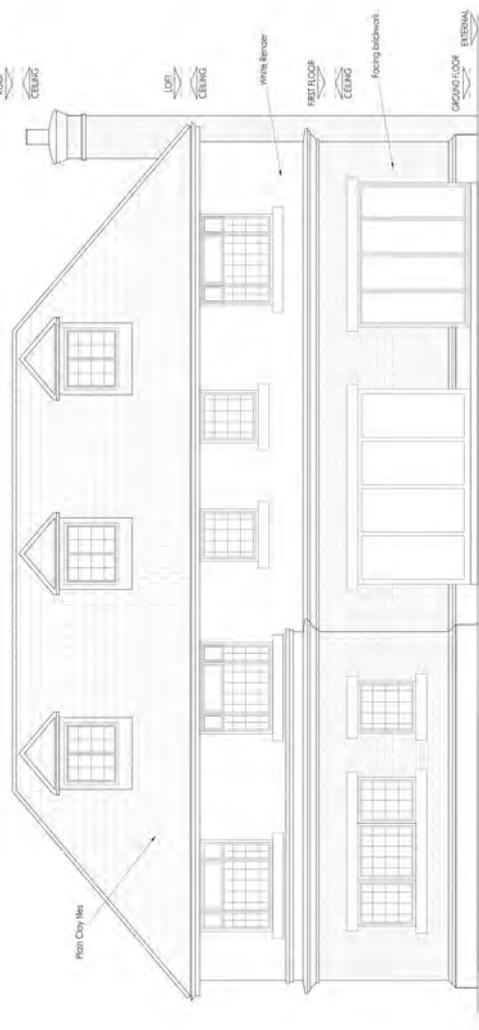
Drawing No	J3745-D-04	Rev	-
------------	------------	-----	---

**GENERAL NOTES**

1. All work shall conform to the Building Code of the City of Northwood.
2. All materials and finishes shall be as indicated on the drawings and in the specifications.
3. The Contractor shall be responsible for obtaining all necessary permits and for the complete satisfaction of the Building Code of the City of Northwood.
4. The Contractor shall be responsible for obtaining all necessary permits and for the complete satisfaction of the Building Code of the City of Northwood.
5. The Contractor shall be responsible for obtaining all necessary permits and for the complete satisfaction of the Building Code of the City of Northwood.



Proposed Front Elevation (1:50)



Proposed Rear Elevation (1:50)

Revisions:

No.	By	Date	Describe
1			

This drawing is the property and copyright of KMASS and shall not be used without written consent of KMASS. All rights reserved. It is to be used only for the project and location indicated on the drawing.

**FOR PLANNING APPLICATION**

Project:  
Land to Rear of Moor Park Road,  
Northwood

Client:  
Mr Robinson

**KMASS**  
KMASS ARCHITECTS  
2 Alderley, Alderley Edge, Cheshire, UK  
Tel: 0161 275 0300  
Fax: 0161 275 0301  
www.kmass.co.uk

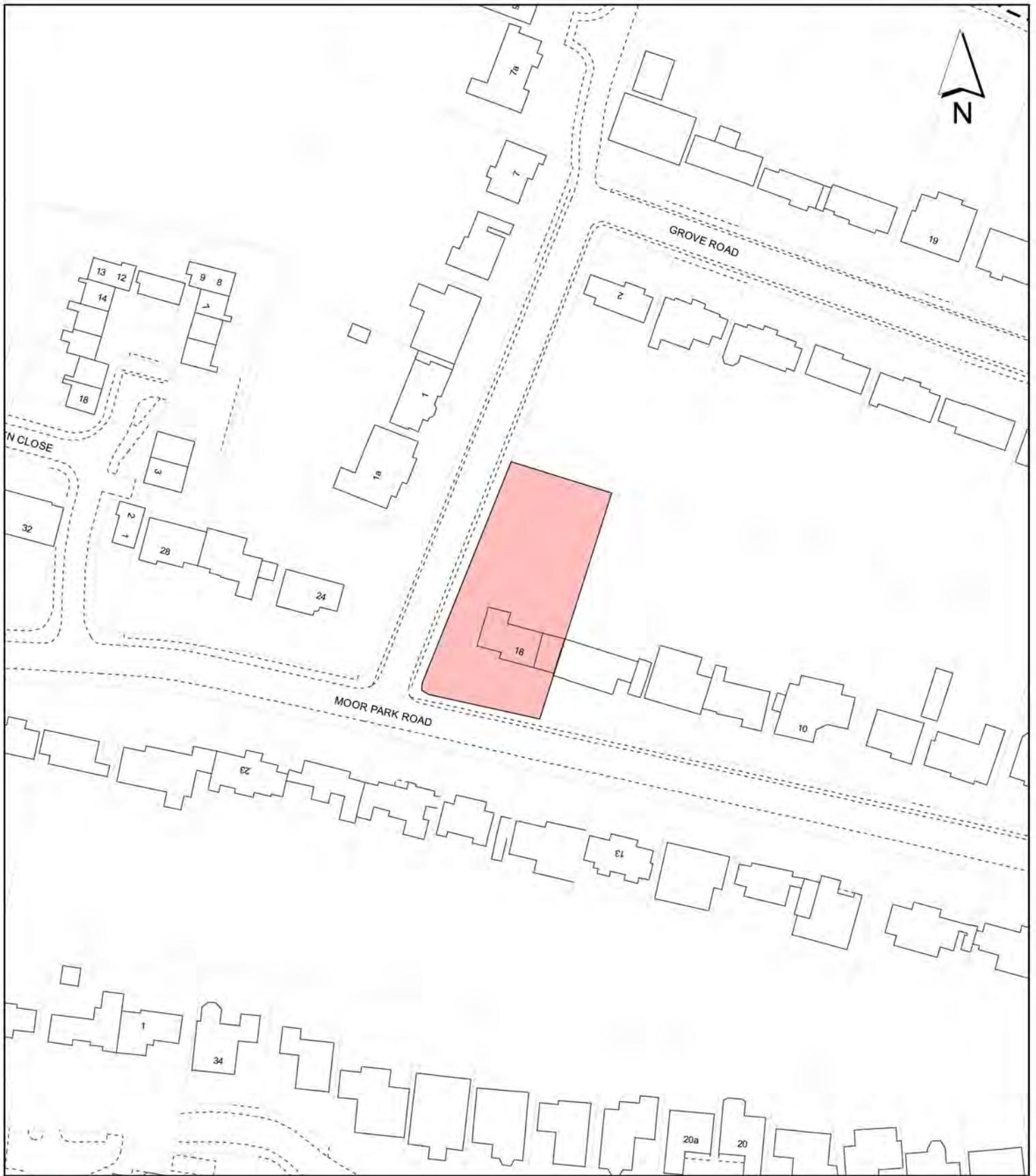
Proposed Front and Rear  
Elevations

Scale	Sheet No.	Drawn By	Check'd By	Date
AS	A1	AEV	KMC	April 20

Noted	Project	Drawn
	KMASS	

Drawing No. J3745-D-05





**Notes:**

 Site boundary

For identification purposes only.  
 This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act).  
 Unless the Act provides a relevant exception to copyright.  
 © Crown copyright and database rights 2020 Ordnance Survey 100019283

Site Address:

**Land to the rear of  
 18 Moor Park Road,  
 Northwood**

**LONDON BOROUGH  
 OF HILLINGDON**  
 Residents Services  
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 01895 250111

Planning Application Ref:

**21577/APP/2020/1792**

Scale:

**1:1,250**

Planning Committee:

**North Page 107**

Date:

**September 2020**



**HILLINGDON**  
 LONDON

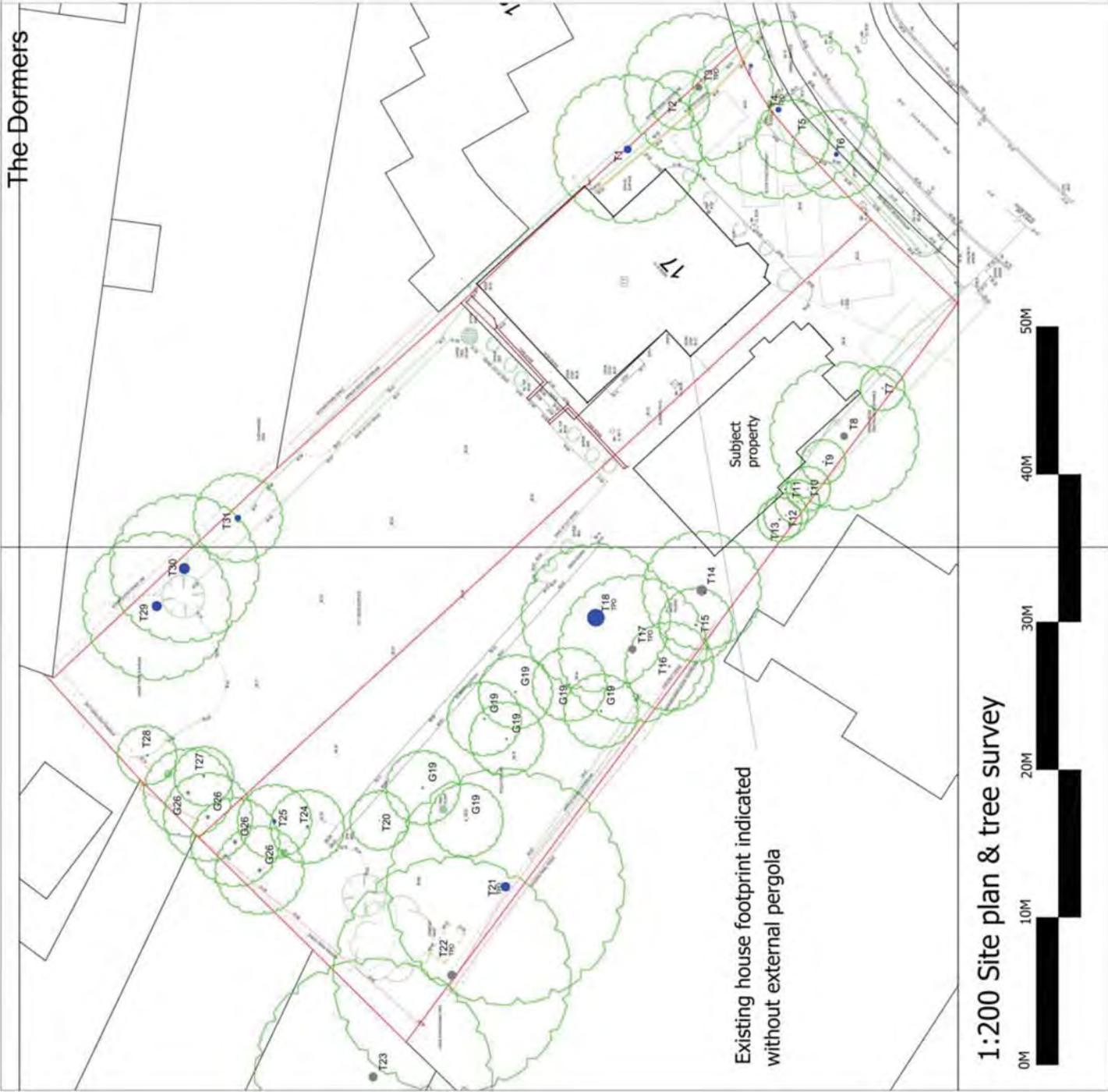
**Report of the Head of Planning, Transportation and Regeneration**

**Address** LAND TO THE SIDE OF 17 WOODSIDE ROAD NORTHWOOD  
**Development:** Erection of a detached two storey 4 x bed house with associated parking and amenity space including the demolition of existing double garage  
**LBH Ref Nos:** 29754/APP/2020/1397

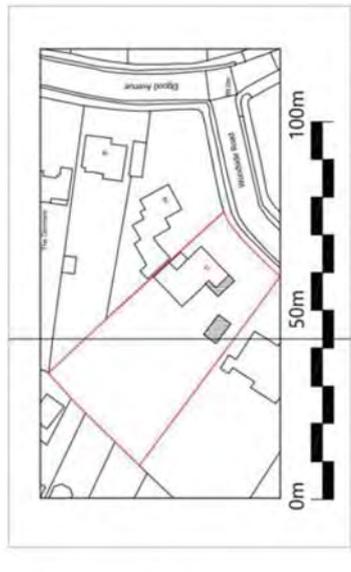
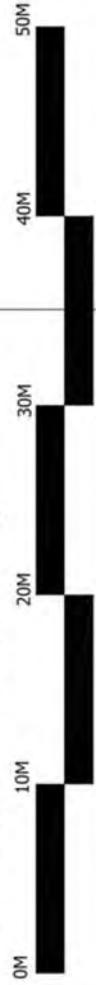
**Date Plans Received:** 01/05/2020  
**Date Application Valid:** 22/05/2020

**Date(s) of Amendment(s):** 14/05/2020

The Dormers



1:200 Site plan & tree survey



1:1250 Location plan



Site ID: Proposed construction to include house indicated  
21.04.20 Rev C: Footprint of house sketched off, as per previous advice  
04.02.20 Rev B: Footprint of house sketched off, as per previous advice  
01.02.20 Rev A: Footprint of house sketched off, as per previous advice  
18.11.19 Rev A: Footprint of new build provided to allow for tree study

<b>Apollo</b>	
Apollo Architectural Services	
Tel: 01223 841 337 Fax: 01223 841 300	
32 General Road, Northwood, Midsized Park, NIP	
LOCATION PLAN, SITE PLANS & TREE SURVEY	
APPROVED FOR THE USE OF 17 WOODHOUSE RD, NORTHWOOD, NIP	
DATE:	06.08.19
SCALE:	1:1250 & 1:200 @ A2
DESIGNED BY:	Christopher Thomas - Design Lead, BA
DRAWN BY:	601.102-50
DRIVING IN:	Rev. D © Copyright

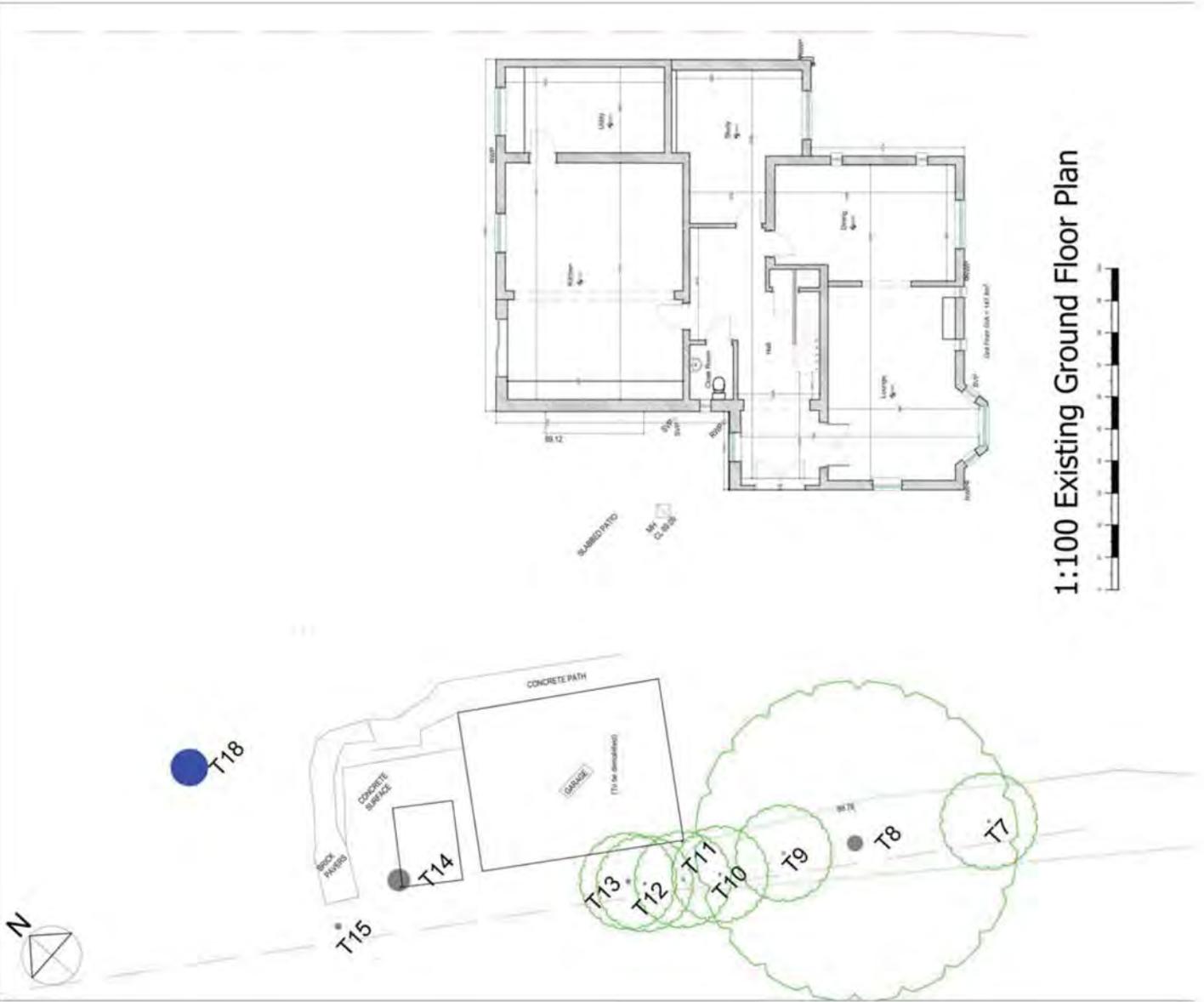


Proposed house footprint indicated

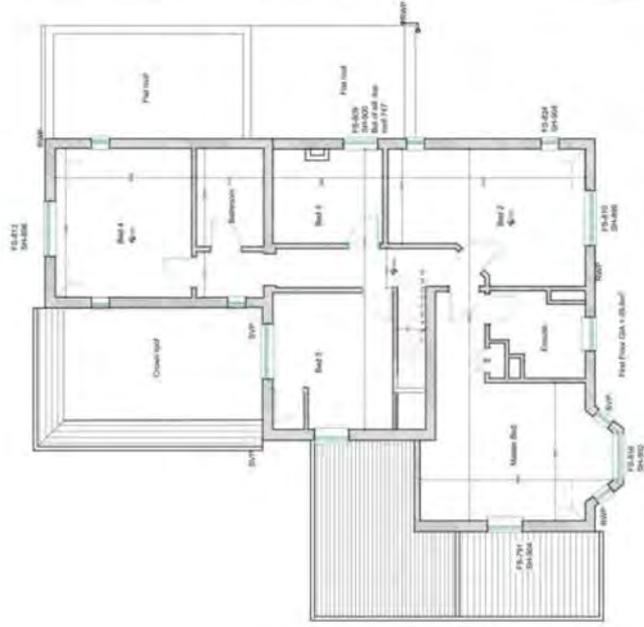
1:200 Block plan & tree survey



1:200 Block Plan & Tree Survey of site proposed for proposed address 31, 33, 35, 37, 39, 41, 43, 45, 47, 49, 51, 53, 55, 57, 59, 61, 63, 65, 67, 69, 71, 73, 75, 77, 79, 81, 83, 85, 87, 89, 91, 93, 95, 97, 99, 101, 103, 105, 107, 109, 111, 113, 115, 117, 119, 121, 123, 125, 127, 129, 131, 133, 135, 137, 139, 141, 143, 145, 147, 149, 151, 153, 155, 157, 159, 161, 163, 165, 167, 169, 171, 173, 175, 177, 179, 181, 183, 185, 187, 189, 191, 193, 195, 197, 199, 201, 203, 205, 207, 209, 211, 213, 215, 217, 219, 221, 223, 225, 227, 229, 231, 233, 235, 237, 239, 241, 243, 245, 247, 249, 251, 253, 255, 257, 259, 261, 263, 265, 267, 269, 271, 273, 275, 277, 279, 281, 283, 285, 287, 289, 291, 293, 295, 297, 299, 301, 303, 305, 307, 309, 311, 313, 315, 317, 319, 321, 323, 325, 327, 329, 331, 333, 335, 337, 339, 341, 343, 345, 347, 349, 351, 353, 355, 357, 359, 361, 363, 365, 367, 369, 371, 373, 375, 377, 379, 381, 383, 385, 387, 389, 391, 393, 395, 397, 399, 401, 403, 405, 407, 409, 411, 413, 415, 417, 419, 421, 423, 425, 427, 429, 431, 433, 435, 437, 439, 441, 443, 445, 447, 449, 451, 453, 455, 457, 459, 461, 463, 465, 467, 469, 471, 473, 475, 477, 479, 481, 483, 485, 487, 489, 491, 493, 495, 497, 499, 501, 503, 505, 507, 509, 511, 513, 515, 517, 519, 521, 523, 525, 527, 529, 531, 533, 535, 537, 539, 541, 543, 545, 547, 549, 551, 553, 555, 557, 559, 561, 563, 565, 567, 569, 571, 573, 575, 577, 579, 581, 583, 585, 587, 589, 591, 593, 595, 597, 599, 601, 603, 605, 607, 609, 611, 613, 615, 617, 619, 621, 623, 625, 627, 629, 631, 633, 635, 637, 639, 641, 643, 645, 647, 649, 651, 653, 655, 657, 659, 661, 663, 665, 667, 669, 671, 673, 675, 677, 679, 681, 683, 685, 687, 689, 691, 693, 695, 697, 699, 701, 703, 705, 707, 709, 711, 713, 715, 717, 719, 721, 723, 725, 727, 729, 731, 733, 735, 737, 739, 741, 743, 745, 747, 749, 751, 753, 755, 757, 759, 761, 763, 765, 767, 769, 771, 773, 775, 777, 779, 781, 783, 785, 787, 789, 791, 793, 795, 797, 799, 801, 803, 805, 807, 809, 811, 813, 815, 817, 819, 821, 823, 825, 827, 829, 831, 833, 835, 837, 839, 841, 843, 845, 847, 849, 851, 853, 855, 857, 859, 861, 863, 865, 867, 869, 871, 873, 875, 877, 879, 881, 883, 885, 887, 889, 891, 893, 895, 897, 899, 901, 903, 905, 907, 909, 911, 913, 915, 917, 919, 921, 923, 925, 927, 929, 931, 933, 935, 937, 939, 941, 943, 945, 947, 949, 951, 953, 955, 957, 959, 961, 963, 965, 967, 969, 971, 973, 975, 977, 979, 981, 983, 985, 987, 989, 991, 993, 995, 997, 999, 1001, 1003, 1005, 1007, 1009, 1011, 1013, 1015, 1017, 1019, 1021, 1023, 1025, 1027, 1029, 1031, 1033, 1035, 1037, 1039, 1041, 1043, 1045, 1047, 1049, 1051, 1053, 1055, 1057, 1059, 1061, 1063, 1065, 1067, 1069, 1071, 1073, 1075, 1077, 1079, 1081, 1083, 1085, 1087, 1089, 1091, 1093, 1095, 1097, 1099, 1101, 1103, 1105, 1107, 1109, 1111, 1113, 1115, 1117, 1119, 1121, 1123, 1125, 1127, 1129, 1131, 1133, 1135, 1137, 1139, 1141, 1143, 1145, 1147, 1149, 1151, 1153, 1155, 1157, 1159, 1161, 1163, 1165, 1167, 1169, 1171, 1173, 1175, 1177, 1179, 1181, 1183, 1185, 1187, 1189, 1191, 1193, 1195, 1197, 1199, 1201, 1203, 1205, 1207, 1209, 1211, 1213, 1215, 1217, 1219, 1221, 1223, 1225, 1227, 1229, 1231, 1233, 1235, 1237, 1239, 1241, 1243, 1245, 1247, 1249, 1251, 1253, 1255, 1257, 1259, 1261, 1263, 1265, 1267, 1269, 1271, 1273, 1275, 1277, 1279, 1281, 1283, 1285, 1287, 1289, 1291, 1293, 1295, 1297, 1299, 1301, 1303, 1305, 1307, 1309, 1311, 1313, 1315, 1317, 1319, 1321, 1323, 1325, 1327, 1329, 1331, 1333, 1335, 1337, 1339, 1341, 1343, 1345, 1347, 1349, 1351, 1353, 1355, 1357, 1359, 1361, 1363, 1365, 1367, 1369, 1371, 1373, 1375, 1377, 1379, 1381, 1383, 1385, 1387, 1389, 1391, 1393, 1395, 1397, 1399, 1401, 1403, 1405, 1407, 1409, 1411, 1413, 1415, 1417, 1419, 1421, 1423, 1425, 1427, 1429, 1431, 1433, 1435, 1437, 1439, 1441, 1443, 1445, 1447, 1449, 1451, 1453, 1455, 1457, 1459, 1461, 1463, 1465, 1467, 1469, 1471, 1473, 1475, 1477, 1479, 1481, 1483, 1485, 1487, 1489, 1491, 1493, 1495, 1497, 1499, 1501, 1503, 1505, 1507, 1509, 1511, 1513, 1515, 1517, 1519, 1521, 1523, 1525, 1527, 1529, 1531, 1533, 1535, 1537, 1539, 1541, 1543, 1545, 1547, 1549, 1551, 1553, 1555, 1557, 1559, 1561, 1563, 1565, 1567, 1569, 1571, 1573, 1575, 1577, 1579, 1581, 1583, 1585, 1587, 1589, 1591, 1593, 1595, 1597, 1599, 1601, 1603, 1605, 1607, 1609, 1611, 1613, 1615, 1617, 1619, 1621, 1623, 1625, 1627, 1629, 1631, 1633, 1635, 1637, 1639, 1641, 1643, 1645, 1647, 1649, 1651, 1653, 1655, 1657, 1659, 1661, 1663, 1665, 1667, 1669, 1671, 1673, 1675, 1677, 1679, 1681, 1683, 1685, 1687, 1689, 1691, 1693, 1695, 1697, 1699, 1701, 1703, 1705, 1707, 1709, 1711, 1713, 1715, 1717, 1719, 1721, 1723, 1725, 1727, 1729, 1731, 1733, 1735, 1737, 1739, 1741, 1743, 1745, 1747, 1749, 1751, 1753, 1755, 1757, 1759, 1761, 1763, 1765, 1767, 1769, 1771, 1773, 1775, 1777, 1779, 1781, 1783, 1785, 1787, 1789, 1791, 1793, 1795, 1797, 1799, 1801, 1803, 1805, 1807, 1809, 1811, 1813, 1815, 1817, 1819, 1821, 1823, 1825, 1827, 1829, 1831, 1833, 1835, 1837, 1839, 1841, 1843, 1845, 1847, 1849, 1851, 1853, 1855, 1857, 1859, 1861, 1863, 1865, 1867, 1869, 1871, 1873, 1875, 1877, 1879, 1881, 1883, 1885, 1887, 1889, 1891, 1893, 1895, 1897, 1899, 1901, 1903, 1905, 1907, 1909, 1911, 1913, 1915, 1917, 1919, 1921, 1923, 1925, 1927, 1929, 1931, 1933, 1935, 1937, 1939, 1941, 1943, 1945, 1947, 1949, 1951, 1953, 1955, 1957, 1959, 1961, 1963, 1965, 1967, 1969, 1971, 1973, 1975, 1977, 1979, 1981, 1983, 1985, 1987, 1989, 1991, 1993, 1995, 1997, 1999, 2001, 2003, 2005, 2007, 2009, 2011, 2013, 2015, 2017, 2019, 2021, 2023, 2025, 2027, 2029, 2031, 2033, 2035, 2037, 2039, 2041, 2043, 2045, 2047, 2049, 2051, 2053, 2055, 2057, 2059, 2061, 2063, 2065, 2067, 2069, 2071, 2073, 2075, 2077, 2079, 2081, 2083, 2085, 2087, 2089, 2091, 2093, 2095, 2097, 2099, 2101, 2103, 2105, 2107, 2109, 2111, 2113, 2115, 2117, 2119, 2121, 2123, 2125, 2127, 2129, 2131, 2133, 2135, 2137, 2139, 2141, 2143, 2145, 2147, 2149, 2151, 2153, 2155, 2157, 2159, 2161, 2163, 2165, 2167, 2169, 2171, 2173, 2175, 2177, 2179, 2181, 2183, 2185, 2187, 2189, 2191, 2193, 2195, 2197, 2199, 2201, 2203, 2205, 2207, 2209, 2211, 2213, 2215, 2217, 2219, 2221, 2223, 2225, 2227, 2229, 2231, 2233, 2235, 2237, 2239, 2241, 2243, 2245, 2247, 2249, 2251, 2253, 2255, 2257, 2259, 2261, 2263, 2265, 2267, 2269, 2271, 2273, 2275, 2277, 2279, 2281, 2283, 2285, 2287, 2289, 2291, 2293, 2295, 2297, 2299, 2301, 2303, 2305, 2307, 2309, 2311, 2313, 2315, 2317, 2319, 2321, 2323, 2325, 2327, 2329, 2331, 2333, 2335, 2337, 2339, 2341, 2343, 2345, 2347, 2349, 2351, 2353, 2355, 2357, 2359, 2361, 2363, 2365, 2367, 2369, 2371, 2373, 2375, 2377, 2379, 2381, 2383, 2385, 2387, 2389, 2391, 2393, 2395, 2397, 2399, 2401, 2403, 2405, 2407, 2409, 2411, 2413, 2415, 2417, 2419, 2421, 2423, 2425, 2427, 2429, 2431, 2433, 2435, 2437, 2439, 2441, 2443, 2445, 2447, 2449, 2451, 2453, 2455, 2457, 2459, 2461, 2463, 2465, 2467, 2469, 2471, 2473, 2475, 2477, 2479, 2481, 2483, 2485, 2487, 2489, 2491, 2493, 2495, 2497, 2499, 2501, 2503, 2505, 2507, 2509, 2511, 2513, 2515, 2517, 2519, 2521, 2523, 2525, 2527, 2529, 2531, 2533, 2535, 2537, 2539, 2541, 2543, 2545, 2547, 2549, 2551, 2553, 2555, 2557, 2559, 2561, 2563, 2565, 2567, 2569, 2571, 2573, 2575, 2577, 2579, 2581, 2583, 2585, 2587, 2589, 2591, 2593, 2595, 2597, 2599, 2601, 2603, 2605, 2607, 2609, 2611, 2613, 2615, 2617, 2619, 2621, 2623, 2625, 2627, 2629, 2631, 2633, 2635, 2637, 2639, 2641, 2643, 2645, 2647, 2649, 2651, 2653, 2655, 2657, 2659, 2661, 2663, 2665, 2667, 2669, 2671, 2673, 2675, 2677, 2679, 2681, 2683, 2685, 2687, 2689, 2691, 2693, 2695, 2697, 2699, 2701, 2703, 2705, 2707, 2709, 2711, 2713, 2715, 2717, 2719, 2721, 2723, 2725, 2727, 2729, 2731, 2733, 2735, 2737, 2739, 2741, 2743, 2745, 2747, 2749, 2751, 2753, 2755, 2757, 2759, 2761, 2763, 2765, 2767, 2769, 2771, 2773, 2775, 2777, 2779, 2781, 2783, 2785, 2787, 2789, 2791, 2793, 2795, 2797, 2799, 2801, 2803, 2805, 2807, 2809, 2811, 2813, 2815, 2817, 2819, 2821, 2823, 2825, 2827, 2829, 2831, 2833, 2835, 2837, 2839, 2841, 2843, 2845, 2847, 2849, 2851, 2853, 2855, 2857, 2859, 2861, 2863, 2865, 2867, 2869, 2871, 2873, 2875, 2877, 2879, 2881, 2883, 2885, 2887, 2889, 2891, 2893, 2895, 2897, 2899, 2901, 2903, 2905, 2907, 2909, 2911, 2913, 2915, 2917, 2919, 2921, 2923, 2925, 2927, 2929, 2931, 2933, 2935, 2937, 2939, 2941, 2943, 2945, 2947, 2949, 2951, 2953, 2955, 2957, 2959, 2961, 2963, 2965, 2967, 2969, 2971, 2973, 2975, 2977, 2979, 2981, 2983, 2985, 2987, 2989, 2991, 2993, 2995, 2997, 2999, 3001, 3003, 3005, 3007, 3009, 3011, 3013, 3015, 3017, 3019, 3021, 3023, 3025, 3027, 3029, 3031, 3033, 3035, 3037, 3039, 3041, 3043, 3045, 3047, 3049, 3051, 3053, 3055, 3057, 3059, 3061, 3063, 3065, 3067, 3069, 3071, 3073, 3075, 3077, 3079, 3081, 3083, 3085, 3087, 3089, 3091, 3093, 3095, 3097, 3099, 3101, 3103, 3105, 3107, 3109, 3111, 3113, 3115, 3117, 3119, 3121, 3123, 3125, 3127, 3129, 3131, 3133, 3135, 3137, 3139, 3141, 3143, 3145, 3147, 3149, 3151, 3153, 3155, 3157, 3159, 3161, 3163, 3165, 3167, 3169, 3171, 3173, 3175, 3177, 3179, 3181, 3183, 3185, 3187, 3189, 3191, 3193, 3195, 3197, 3199, 3201, 3203, 3205, 3207, 3209, 3211, 3213, 3215, 3217, 3219, 3221, 3223, 3225, 3227, 3229, 3231, 3233, 3235, 3237, 3239, 3241, 3243, 3245, 3247, 3249, 3251, 3253, 3255, 3257, 3259, 3261, 3263, 3265, 3267, 3269, 3271, 3273, 3275, 3277, 3279, 3281, 3283, 3285, 3287, 3289, 3291, 3293, 3295, 3297, 3299, 3301, 3303, 3305, 3307, 3309, 3311, 3313, 3315, 3317, 3319, 3321, 3323, 3325, 3327, 3329, 3331, 3333, 3335, 3337, 3339, 3341, 3343, 3345, 3347, 3349, 3351, 3353, 3355, 3357, 3359, 3361, 3363, 3365, 3367, 3369, 3371, 3373, 3375, 3377, 3379, 3381, 3383, 3385, 3387, 3389, 3391, 3393, 3395, 3397, 3399, 3401, 3403, 3405, 3407, 3409, 3411, 3413, 3415, 3417, 3419, 3421, 3423, 3425, 3427, 3429, 3431, 3433, 3435, 3437, 3439, 3441, 3443, 3445, 3447, 3449, 3451, 3453, 3455, 3457, 3459, 3461, 3463, 3465, 3467, 3469, 3471, 3473, 3475, 3477, 3479, 3481, 3483, 3485, 3487, 3489, 3491, 3493, 3495, 3497, 3499, 3501, 3503, 3505, 3507, 3509, 3511, 3513, 3515, 3517, 3519, 3521, 3523, 3525, 3527, 3529, 3531, 3533, 3535, 3537, 3539, 3541, 3543, 3545, 3547, 3549, 3551, 3553, 3555, 3557, 3559, 3561, 3563, 3565, 3567, 3569, 3571, 3573, 3575, 3577, 3579, 3581, 3583, 3585, 3587, 3589, 3591, 3593, 3595, 3597, 3599, 3601, 3603, 3605, 3607, 3609, 3611, 3613, 3615, 3617, 3619, 3621, 3623, 3625, 3627, 3629, 3631, 3633, 3635, 3637, 3639, 3641, 3643, 3645, 3647, 3649, 3651, 3653, 3655, 3657, 3659, 3661, 3663, 3665, 3667, 3669, 3671, 3673, 3675, 3677, 3679, 3681, 3683, 3685, 3687, 3689, 3691, 3693, 3695, 3697, 3699, 3701, 3703, 3705, 3707, 3709, 3711, 3713, 3715, 3717, 3719, 3721, 3723, 3725, 3727, 3729, 3731, 3733, 3735, 3737, 3739, 3741, 3743, 3745, 3747, 3749, 3751, 3753, 3755, 3757, 3759, 3761, 3763, 3765, 3767, 3769, 3771, 3773, 3775, 3777, 3779, 3781, 3783, 3785, 3787, 3789, 3791, 3793, 3795, 3797, 3799, 3801, 3803, 3805, 3807, 3809, 3811, 3813, 3815, 3817, 3819, 3821, 3823, 3825, 3827, 3829, 3831, 3833, 3835, 3837, 3839, 3841, 3843, 3845, 3847, 3849, 3851, 3853, 3855, 3857, 3859, 3861, 3863, 3865, 3867, 3869, 3871, 3873, 3875, 3877, 3879, 3881, 3883, 3885, 3887, 3889, 3891, 3893, 3895, 3897, 3899, 3901, 3903, 3905, 3907, 3909, 3911, 3913, 3915, 3917, 3919, 3921, 3923, 3925, 3927, 3929, 3931, 3933, 3935, 3937, 3939, 3941, 3943, 3945, 3947, 3949, 3951, 3953, 3955, 3957, 3959, 3961, 3963, 3965, 3967, 3969, 3971, 3973, 3975, 3977, 3979, 3981, 3983, 3985, 3987, 3989, 3991, 3993, 3995, 3997, 3999, 4001, 4003, 4005, 4007, 4009, 4011, 4013, 4015, 4017, 4019, 4021, 4023, 4025, 4027, 4029, 4031, 4033, 4035, 4037, 4039, 4041, 4043, 4045, 4047, 4049, 4051, 4053, 4055, 4057, 4059, 4061, 4063, 4065, 4067, 4069, 4071, 4073, 4075, 4077, 4079, 4081, 4083, 4085, 4087, 4089, 4091, 4093, 4095, 4097, 4099, 4101, 4103, 4105, 4107, 4109, 4111, 4113, 4115, 4117, 4119, 4121, 4123, 4125, 4127, 4129, 4131, 4133, 4135, 4137, 4139, 4141, 4143, 4145, 4147, 4149, 4151, 4153, 4155, 4157, 4159, 4161, 4163, 4165, 4167, 4169, 4171, 4173, 4175, 4177, 4179, 4181, 4183, 4185, 4187, 4189, 4191, 4193, 4195, 4197, 4199, 4



1:100 Existing Ground Floor Plan

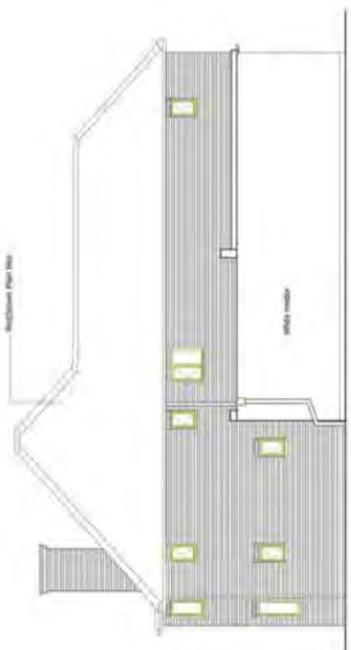


1:100 Existing First Floor Plan

**Apollo**  
 Apollo Architectural Services  
 Tel: 01242 841337 Fax: 01242 841000  
 21 Gifford Road, Highmoor, Robinson Hill, QIP  
 Highmoor, High Wycombe, Bucks HP12 3JF  
 Email: info@apolloarchitect.co.uk  
 1400 The Old Mill, 11, The Old Mill, High Wycombe, Bucks HP12 3JF  
 19th Floor  
 Date: 27.05.19  
 Drawn by: T. J. Jones, B. J. Jones  
 Checked by: Christopher J. Jones, Dip. Arch, B.A.  
 Drawing No: 601.102-01  
 Rev: © Copyright



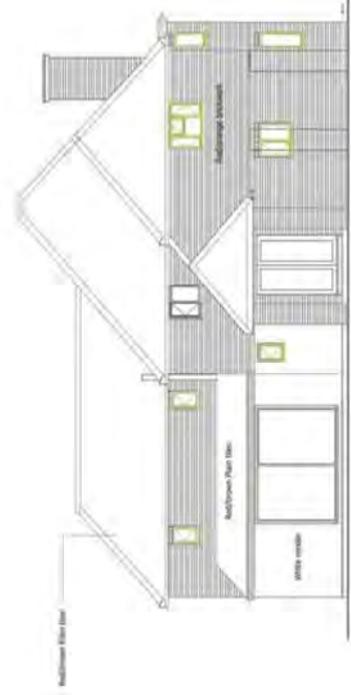
REPRODUCED WITH THE PERMISSION FROM BUILDING DEVELOPMENT SERVICES LTD  
DO NOT SCALE IF IN DOUBT, CONTACT ARCHITECT



Existing Side Elevation



Existing Front Elevation



Existing Side Elevation



Existing Rear Elevation

22.04.20 Rev. A. Details subject to approval in KNO. Current survey information

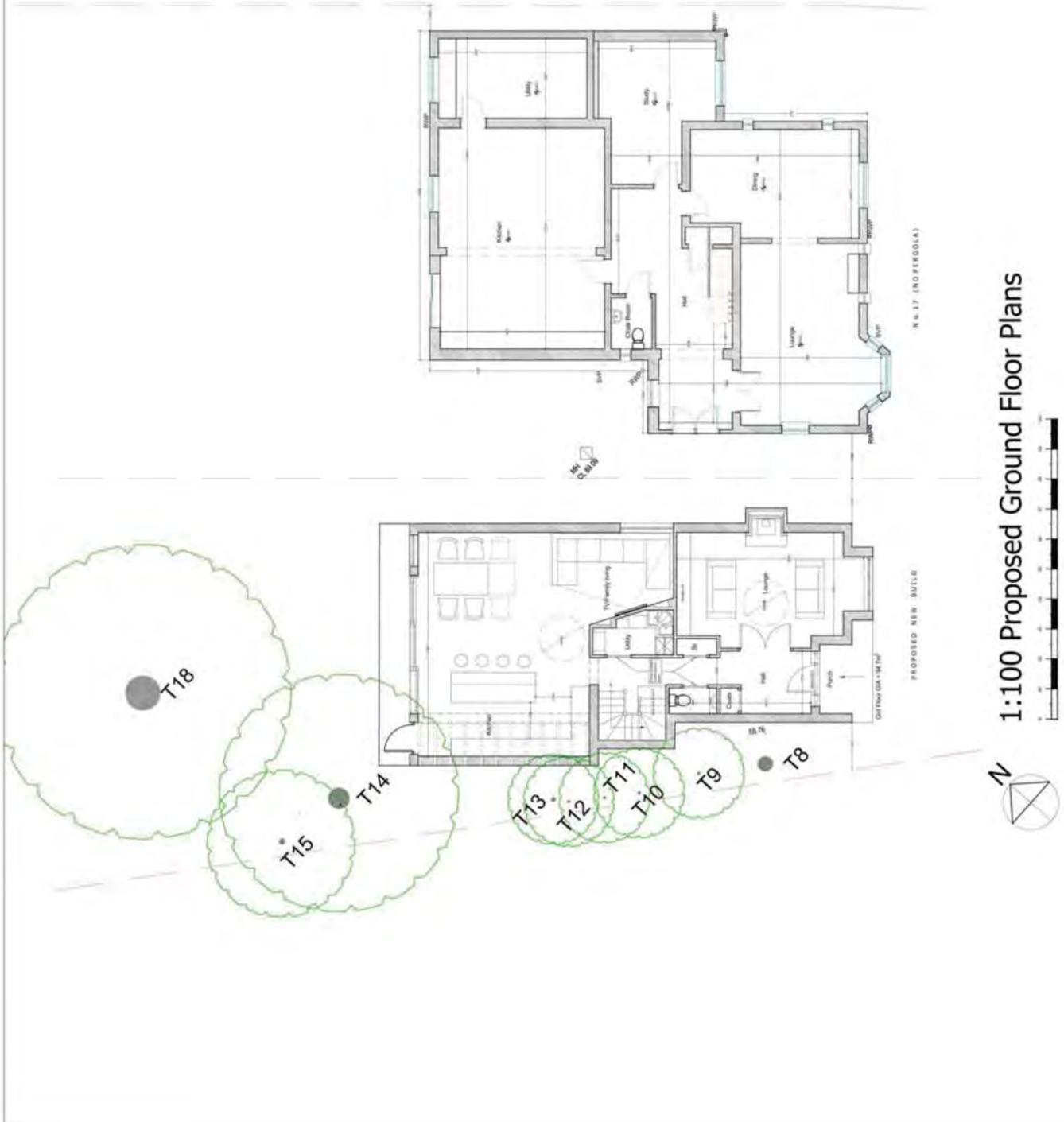


**Apollo Architectural Services**  
 Tel: 01203 844 037 Fax: 0203424702  
 57 Gabriel Road, Surbiton, Middlesex TW9 3DP

**Title:** EXISTING ELEVATIONS  
 57 Gabriel Road, Surbiton, Middlesex TW9 3DP  
 Rev A. Complete

**Date:** 18.06.19  
**Drawn by:** L.1008.B.A.  
**Checked by:** J. Francis, D.B.Arch, R.A.

**Drawn No:** 601.102-03  
 Rev. A.  
 01/06/2019



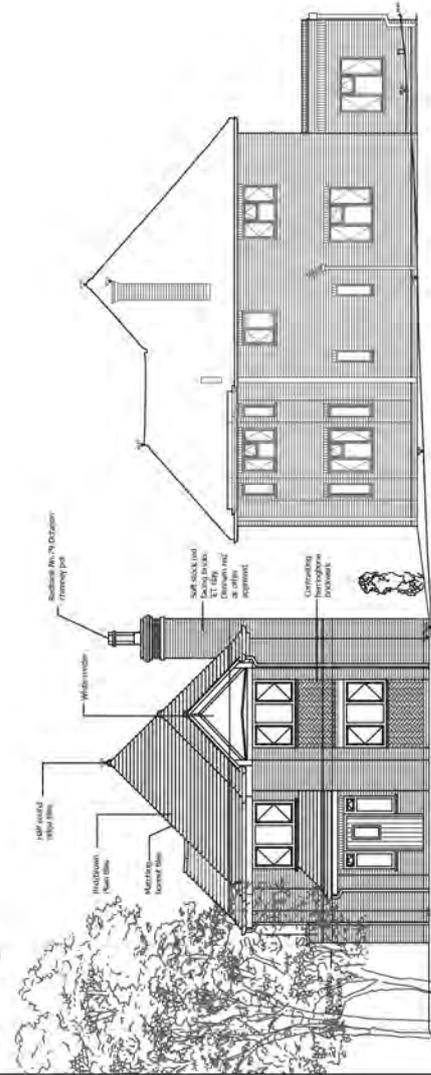
1:100 Proposed Ground Floor Plans



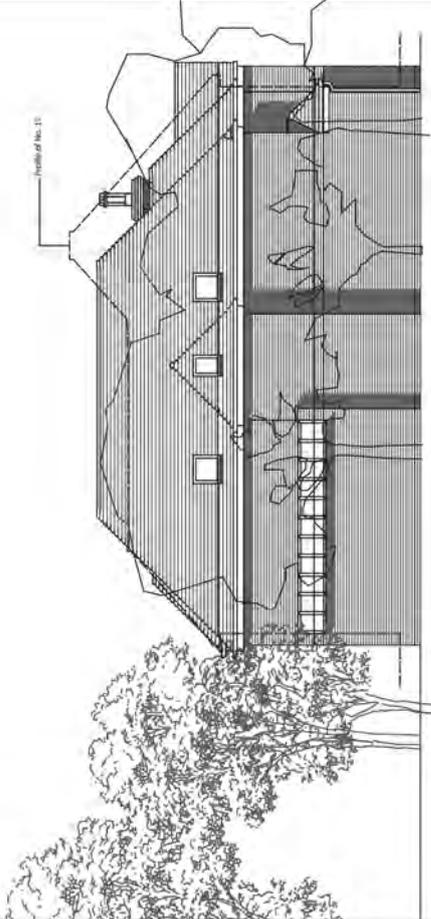
20.11.19 Rev. C: Footprints of site retained off, as per pre-appro advice. Updated  
 19.11.19 Rev. B: Updated footprint shown  
 18.11.19 Rev. C: Size of utility enclosure and study alternative front facade set  
 18.11.19 Rev. B: Footprints of new build amended to allow for tree 1000  
 03.11.19 Rev. A: Client Issue

**Apollo**  
**Apollo Architectural Services**  
 Tel: 01273 841 937 Fax: 01273 470260  
 31 Gabriel Road, Northwood, Totton, Hants, PO9 7QP  
 www.apolloarchitect.co.uk  
 Unit 101-104, Gate 17, Harrogate Rd, Northwood, Hants PO9 7JF  
 PO 9 6JW  
 Date: 03.08.19  
 Drawn by: J. H. H. H.  
 Checked by: J. H. H. H.  
 Drawing No: **601.102-51** Rev. 0  
 © Copyright

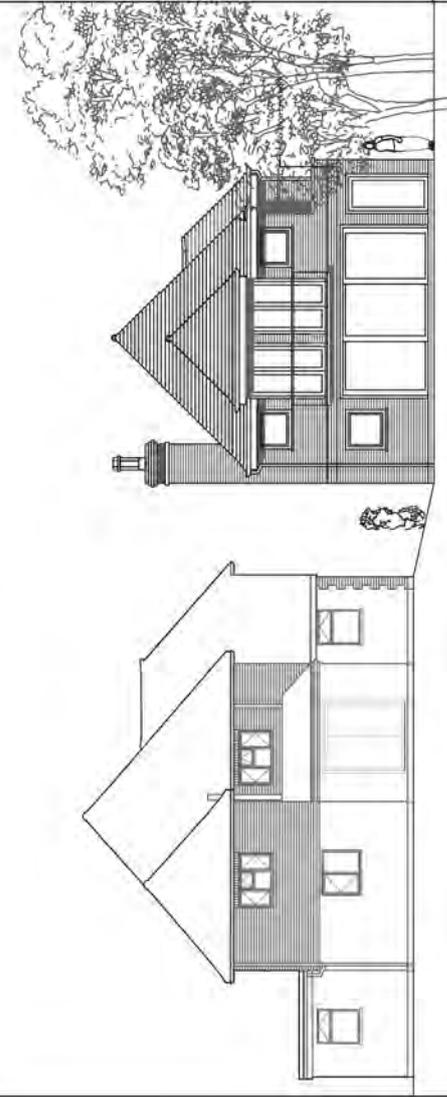




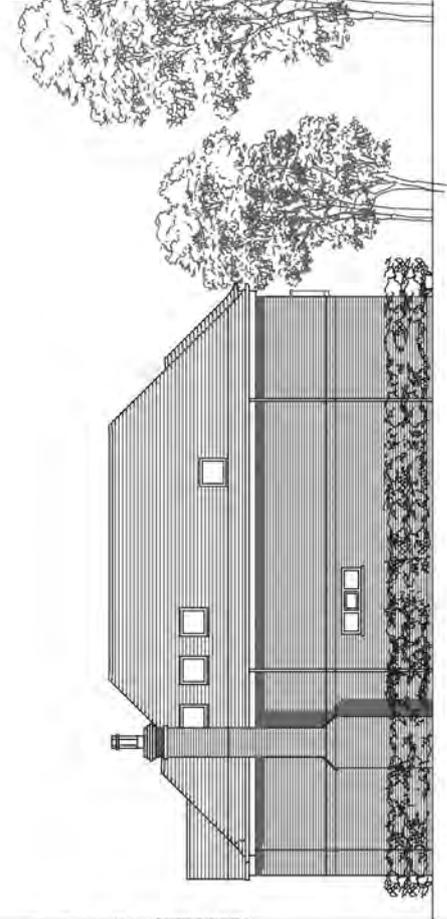
Proposed Front Elevation



Proposed Side Elevation



Proposed Rear Elevation

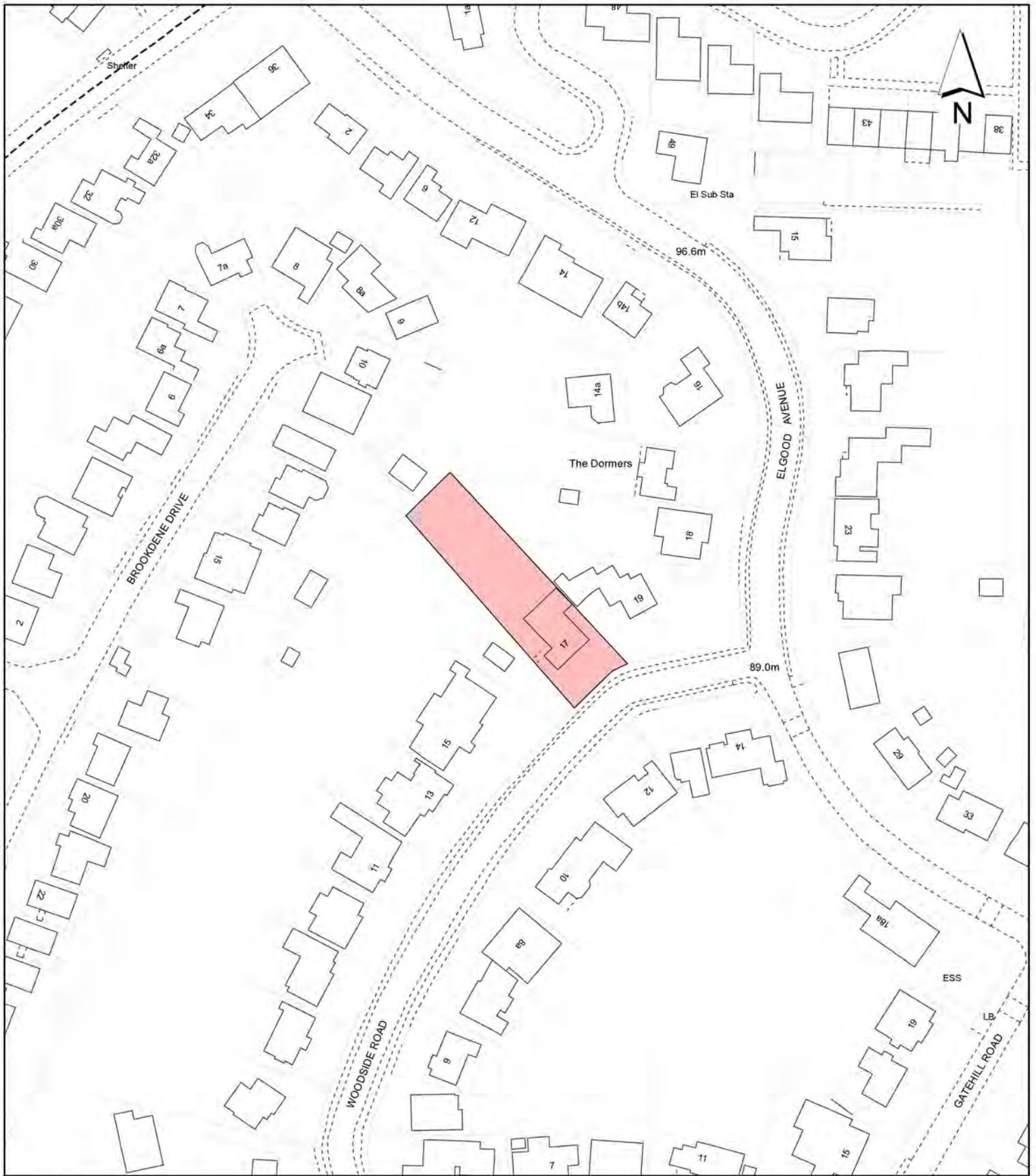


Proposed Side Elevation

**Apollo**  
 Apollo Architectural Services  
 THE OFFICE: 1017 N. W. 10TH AVE., SUITE 100, MIAMI, FL 33136  
 305.555.1111  
 THE STUDIO: 1017 N. W. 10TH AVE., SUITE 100, MIAMI, FL 33136  
 305.555.1111  
 www.apolloarchitect.com

Title	Architectural Services
Date	08.13.19
Scale	1/8" = 1'-0"
Author	Christopher J. Harris, The Office, AIA
Client	11111 N. W. 10TH AVE., SUITE 100, MIAMI, FL 33136
Drawn By	Christopher J. Harris, The Office, AIA
Checked By	Christopher J. Harris, The Office, AIA
Project No.	601.102.53

Not to be used for construction without the written consent of the architect.



**Notes:**

 Site boundary

For identification purposes only.  
 This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act).  
 Unless the Act provides a relevant exception to copyright.  
 © Crown copyright and database rights 2020 Ordnance Survey 100019283

Site Address:

**Land to the side of  
 17 Woodside Road,  
 Northwood**

**LONDON BOROUGH  
 OF HILLINGDON**  
 Residents Services  
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 01895 250111

Planning Application Ref:

**29754/APP/2020/1397**

Scale:

**1:1,250**

Planning Committee:

**North Page 117**

Date:

**September 2020**



**HILLINGDON**  
 LONDON

**Report of the Head of Planning, Transportation and Regeneration**

**Address** TELECOMMUNICATIONS AT JUN BRIDLE ROAD & CHENEY STREET  
BRIDLE ROAD EASTCOTE

**Development:** Installation of 20m monopole and 3 equipment cabinets, and associated ancillary works (Application under Part 16 of Schedule 2 to the Town and Country Planning (General Permitted Development) Order 2015 (as amended) for determination as to whether prior approval is required for siting and appearance).

**LBH Ref Nos:** 75666/APP/2020/2552

**Date Plans Received:** 14/08/2020

**Date(s) of Amendment(s):**

**Date Application Valid:** 14/08/2020

NOTES:  
1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.

Access Route To Site:

REV	MODIFICATION	BY	CH	DATE
A	Issued for Planning	TCL	MT	21.07.20



Design Consultant & Principal Contractor:



Site Name: STREETWORKS AT BRIDLE ROAD

SUK Cell ID: HGN12189

Address: BRIDLE ROAD  
EASTCOTE  
LONDON  
HA5 2TH

Title: 002 SITE LOCATION PLAN

Project: H3G UNILATERAL SW

Purpose of Issue: PLANNING

Drawing No:	HGN12189_PLANNING_REV_A
Issue:	A



Reproduced by permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationery Office. All rights reserved. © Crown Copyright licence no. 100022432

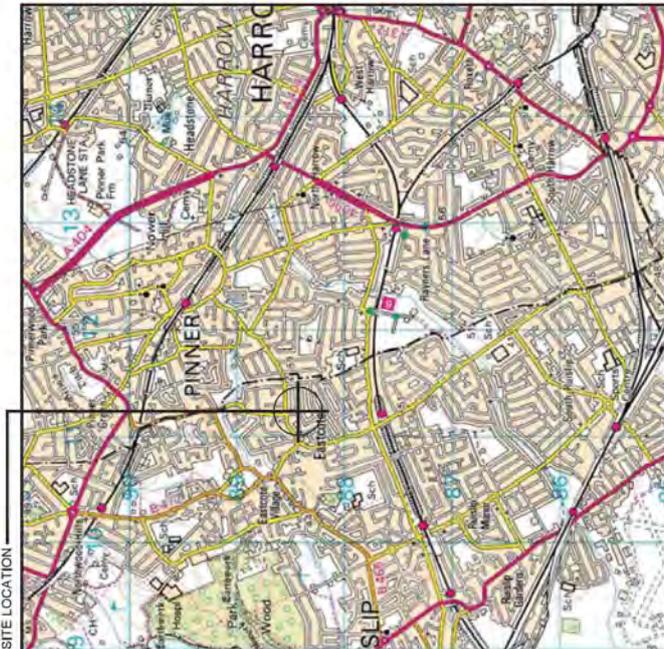
SITE LOCATION PLAN



GOOGLE MAPS QR CODE

GOOGLE MAPS - <https://goo.gl/maps/hx12ga2mN98hreVu6>

STREETVIEW - <https://goo.gl/maps/atYt9SqmornkjCjy7>

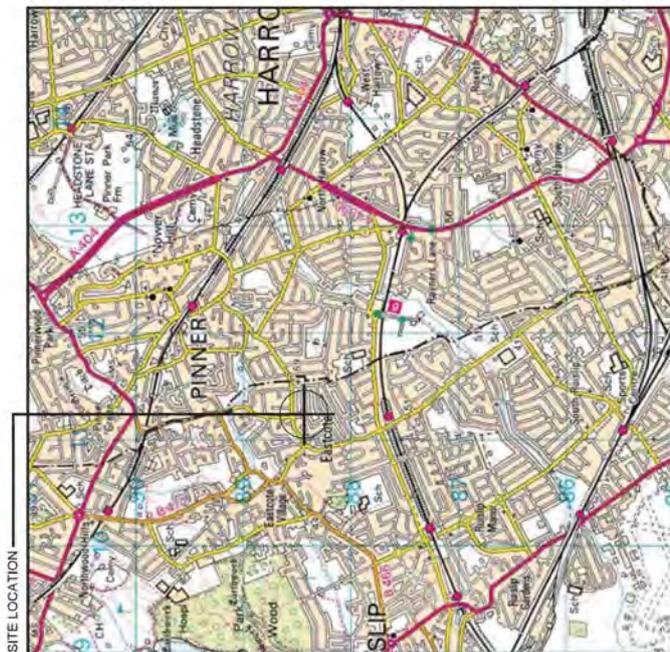


Reproduced by permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationery Office. All rights reserved. © Crown Copyright licence no. 100022432

SITE AREA PLAN



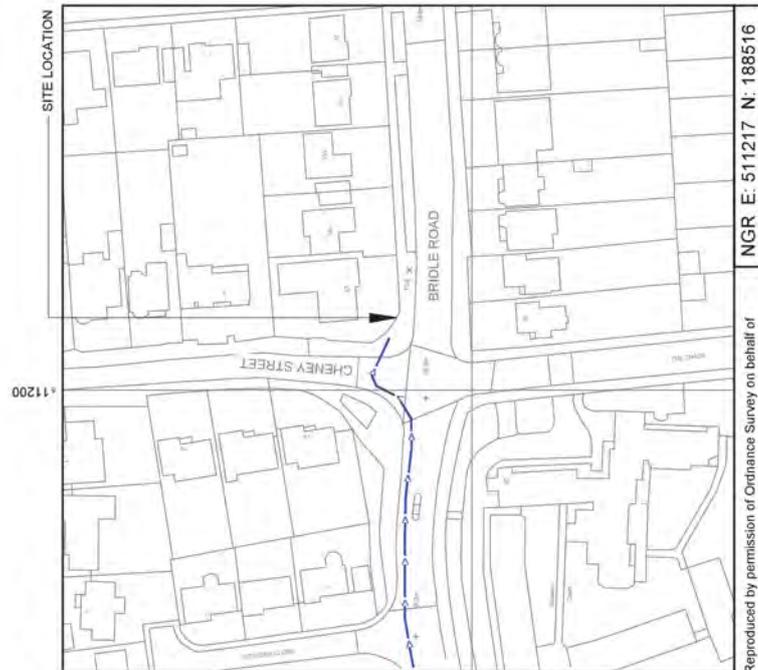
SITE PHOTOGRAPH



SITE AREA PLAN



SITE PHOTOGRAPH



SITE LOCATION PLAN



GOOGLE MAPS QR CODE  
 GOOGLE MAPS - <https://goo.gl/maps/hx12ga2mN98hreVu6>  
 STREETVIEW - <https://goo.gl/maps/atYt9SqmornkjCj7>

NOTES:  
 1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.

Access Route To Site:

REV	MODIFICATION	BY	CH	DATE
A	Issued for Planning	TCL	MF	21.07.20



Hutchison 3G UK Limited  
 Silver House, 20 Grenville Road  
 Maidenhead, SL6 1EH  
 Tel: 01753 796 000  
 Fax: 01753 796 001

1405 Sites, Station Information file:  
 0946 800000  
 Available from: Mon-Fri 9am to 5pm

Design Consultant & Principal Contractor:



Great British Communications  
 Lancing House, Block 3 Forward Park,  
 Ten House Lane, Wilton, Cheshire, WA5 0SL,  
 UK  
 Tel: (0151) 425 4128  
 www.gbc.co.uk

Site Name: STREETWORKS AT BRIDLE ROAD

SUK Cell ID: HGN12189

Address:

BRIDLE ROAD  
 EASTCOTE  
 LONDON  
 HA5 2TH

Title: 002 SITE LOCATION PLAN

Project: H3G UNILATERAL SW

Purpose of Issue:

PLANNING

Site ID:

Drawing ID: HGN12189\_PLANNING\_REV\_A

A



NOTES:  
1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.

REV	MODIFICATION	BY	CH	DATE
A	Issued for Planning	TCL	ME	21.07.20



**Hutchison 3G UK Limited**  
 Star House, 20 Grenville Road  
 Manchester, M8 1EH  
 Tel: 01625 796 000  
 Fax: 01625 795 001

Design Consultant & Principal Contractor:



**Great British Communications**  
 Lancing House, Block 3 Forest Park,  
 Ten House Lane, Maresfield, Chichester, West Sussex,  
 L 44 (0)1243 420 4128  
 www.greatbritishcommunications.co.uk

Site Name: **STREETWORKS AT BRIDLE ROAD**

SUK Cell ID: **HGN12189**

Address:

**BRIDLE ROAD  
 EASTCOTE  
 LONDON  
 HA5 2TH**

Title: **100 EXISTING SITE PLAN**

Project: **H3G UNILATERAL SW**

Signature of Issue:

**PLANNING**

Site ID:

Drawing No:

**HGN12189\_PLANNING\_REV\_A**

Issue: **A**

NOTES:  
 1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.

REV	MODIFICATION	BY	CH	DATE
A	Revised for Planning			21.07.20

Hutchison 3G UK Limited  
 Star House, 25 Crawford Road  
 Middlesbrough, S.E. 16TH  
 Tel: 01629 795 000  
 Fax: 01629 795 001

H3G Base Station Information line:  
 0944 444 444  
 Available 24 hours Monday to Friday  
 www.h3g.co.uk

Design Consultant & Principal Contractor:  
  
 Great British Communications  
 Lancing House, Block 3, Forest Park,  
 Ten House Lane, Middlesbrough, Cleveland, YO8 0BL,  
 U.K. (0151) 420 4128  
 www.greatbritishcommunications.co.uk

Site Name: **STREETWORKS AT BRIDLE ROAD**

SUK Cell ID: **HGN12189**

Address:  
**BRIDLE ROAD  
 EASTCOTE  
 LONDON  
 HA5 2TH**

Title: **215 PROPOSED SITE PLAN**

Project: **H3G UNILATERAL SW**

Purpose of Issue: **PLANNING**

Sheet ID: **-**

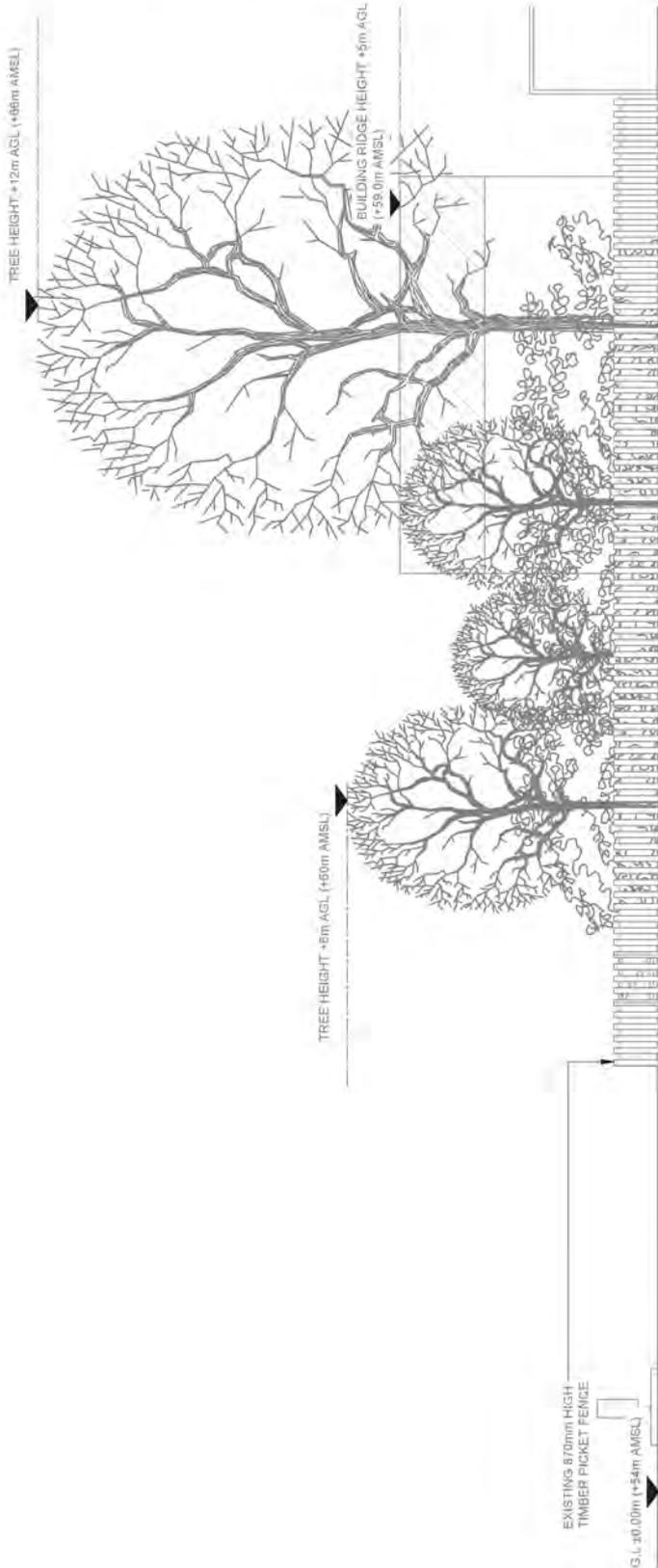
Drawing No: **HGN12189\_PLANNING\_REV\_A**

Scale: **A**



PROPOSED SITE PLAN  
 0 1:100 5m 10m

NOTES:  
 1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.



REV	DESCRIPTION / MODIFICATION	BY	CH	DATE
A	Revised for Planning			21.07.20



**Hulsham 3G UK Limited**  
 8th Floor, 20 Grosvenor Road  
 Manchester, M5 1EH  
 Tel: 0161 796 000  
 Fax: 0161 796 001

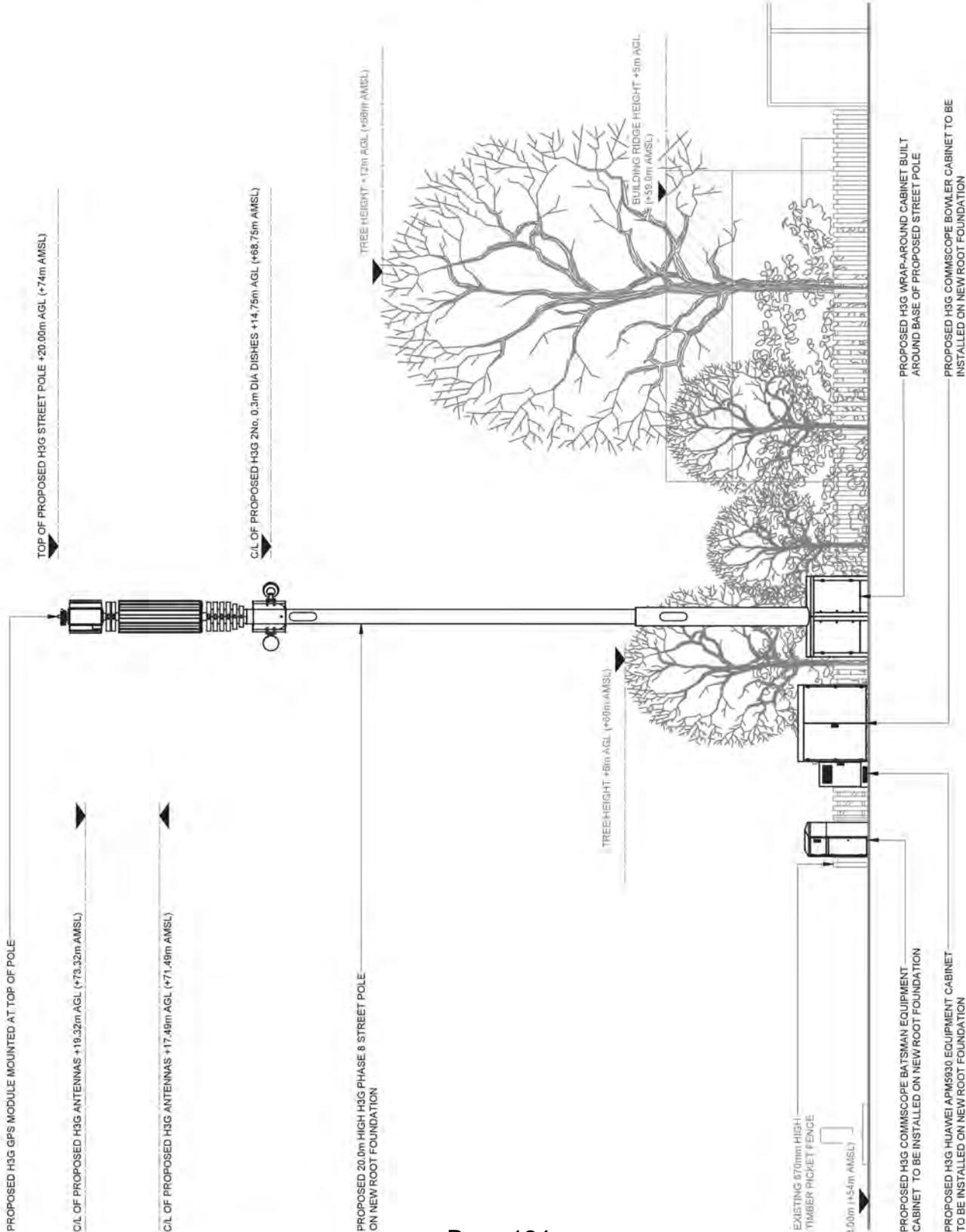
100% Green Energy  
 100% Green Energy  
 Available through our Energy to Go

Design Consultant & Principal Contractor:



**Great British Communications**  
 Lancing House, Road 3, Forest Park,  
 Ten House Lane, Alders, Cheshire, WA9 0SL,  
 UK. (0151) 420 4128  
 www.greatbritishcommunications.co.uk

Site Name	STREETWORKS AT BRIDLE ROAD
SUK Cell ID	HGN12189
Address	BRIDLE ROAD EASTCOTE LONDON HA5 2TH
Ten	150 EXISTING SITE ELEVATION
Project	H3G UNILATERAL SW
Program of Works	PLANNING
Site ID	-
Drawing No.	HGN12189_PLANNING_REV_A
Sheet	A



NOTES:  
 1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.

REV	DESCRIPTION	BY	CH	DATE
A	Issued for Planning			21.07.20

**Hubbison 3G UK Limited**  
 5th Floor, 20 Cranwell Road  
 Macclesfield, SK10 1EJ  
 Tel: 01625 795 000  
 Fax: 01625 795 001

**H3G**  
 145 Bank Street, Information Ave,  
 02446, London, UK  
 Available 24/7 Monday to Friday

Design Consultant & Principal Contractor:



**Great British Communications**  
 Lancing House, Block 3, Foregate Park,  
 Ten House Lane, Middles, Cheshire, WA9 0SL,  
 UK. (0151) 420 4128  
 www.greatbritishcommunications.co.uk

Site Name: **STREETWORKS AT BRIDLE ROAD**

BUK Cell ID: **HGN12189**

Address: **BRIDLE ROAD  
 EASTCOTE  
 LONDON  
 HA5 2TH**

265 PROPOSED SITE ELEVATION

H3G UNILATERAL SW

PLANNING

Drawing No.	HGN12189_PLANNING_REV_A
Sheet	A



Support Structure Schedule

Structure ID	Status	Equipment Description / Type	Structure Manufacturer	Height A/G/L (m)	Colour (RAL Colour)	Headframe Details	Foundation / Support Chillage / Host Structure Details	Support Bolt Details	MBNL Ref.	Comments
ST1	PROPOSED	PHASE B POLE	HEL	20.0m	GREY-7035	-	RCOT	-	N/A	WITH WRAPAROUND CABINET

Equipment Schedule

Equipment ID	Quantity	Status	Equipment Description / Type	Equipment Manufacturer	Dimensions (W x D x H)	Weight (kg)	Colour (RAL Colour)	Material	Location	Power	Power cable length (m)	MBNL Ref.	Comments
CAB1	1	PROPOSED	H3G - BATSMAN	COMMSCOPE	600x500x1585	110	GREY-7035	STEEL	OUTDOOR	-	-	-	FIBRE ONLY - TX SUPPLIER TBC
CAB2	1	PROPOSED	H3G - APM6930	HUawei	600x600x1200	-	GREY-7035	STEEL	OUTDOOR	-	-	-	
CAB3	1	PROPOSED	H3G - BOWLER	COMMSCOPE	1900x600x1752	220	GREY-7035	STEEL	OUTDOOR	-	-	-	

DEPENDENCY	STATUS
RF Compliance	Sector A - Step 1.0 SW Sector B - Step 1.0 SW Sector C - Step 1.0 SW
Building Regulations Approval	N/A
Asiatics	N/A
Planning Conditions	TBC by Local Authority
Geotech Report	N/A
Structural Calculations	N/A
Initial Building Survey	N/A
Global Design Check	N/A
Rigging Survey	N/A
FIXTS	N/A
Power	Proposed 1 phase 100A supply - DNO Quote Approval Required
Transmission Solution	TBC: Microwave only/Fibre only/Microwave+Fibre 2No 0.9m DIA dishes shown for planning
Cooling Solution	N/A
Line of Site Survey	TBC - Dependant on Transmission Solution
Services Search	Completed - 29.04.2020
Trial Hole Report	Completed - 18.05.2020 - Clear
Other	-

REV	MODIFICATION	BY	CH	DATE
A	Issued for Planning	TCL	ME	21.07.20



Hubbion 3G UK Limited  
 5th Floor, 29 GreatMill Road  
 Middlesbrough, Cleveland, TS6 7LN  
 Tel: +44(0)1642 756 000  
 Fax: +44(0)1642 756 001

100% Green Energy  
 100% Green Energy  
 100% Green Energy

Design Consultant & Principal Contractor:



Great British Communications  
 Leasing House, Road 3 Forward Park,  
 Ten House Lane, Wilton, Cleethorpe, WG 0SL  
 Tel: +44 (0)151 420 4128  
 www.greatbritishcommunications.co.uk

Site Name: STREETWORKS AT BRIDLE ROAD

SUK Cell ID: HGN12189

Address:

BRIDLE ROAD  
 EASTCOTE  
 LONDON  
 HA5 2TH

Tb: 306 EQUIPMENT SCHEDULES & DEPENDENCIES

By: H3G UNILATERAL SW

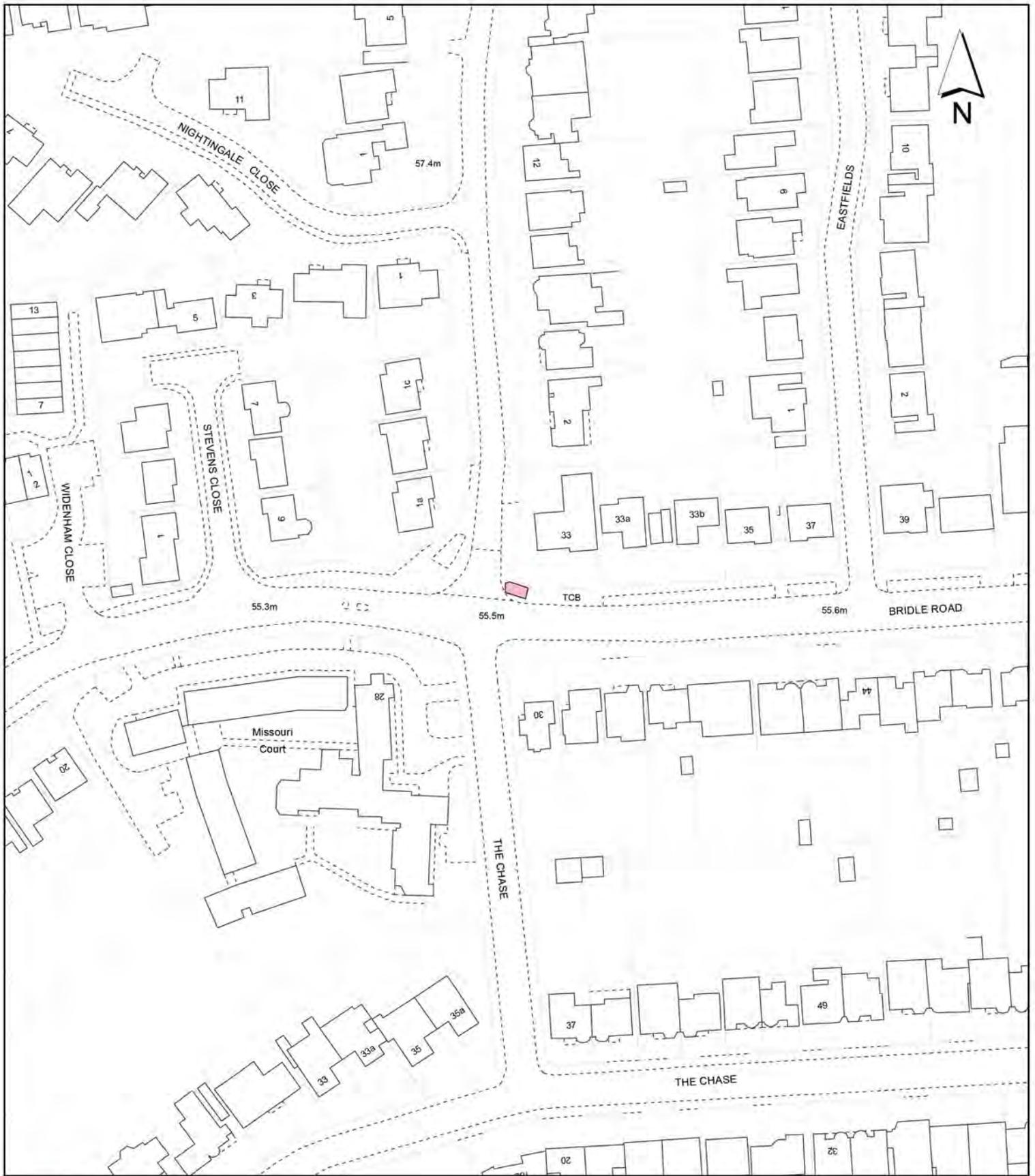
Equipment of Works:

PLANNING

Sheet ID

Drawing Title: HGN12189\_PLANNING\_REV\_A

Author: A



**Notes:**

 Site boundary

For identification purposes only.  
 This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act).  
 Unless the Act provides a relevant exception to copyright.  
 © Crown copyright and database rights 2020 Ordnance Survey 100019283

Site Address:

**Telecommunications at Jun Brindle Road & Cheney Street, Brindle Road, Eastcote**

Planning Application Ref:

**75666/APP/2020/2552**

Planning Committee:

**North Page 127**

Scale:

**1:1,250**

Date:

**September 2020**

**LONDON BOROUGH OF HILLINGDON**  
 Residents Services  
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 01895 250111



**HILLINGDON**  
 LONDON

**Report of the Head of Planning, Transportation and Regeneration**

**Address** LAND AT GARAGE BLOCK SOUTHBOURNE GARDENS RUISLIP

**Development:** Three storey building comprising 6 x 2-Bedroom flats with associated car and cycle parking and amenity space, involving demolition of existing garages

**LBH Ref Nos:** 72211/APP/2020/1728

**Date Plans Received:** 08/06/2020

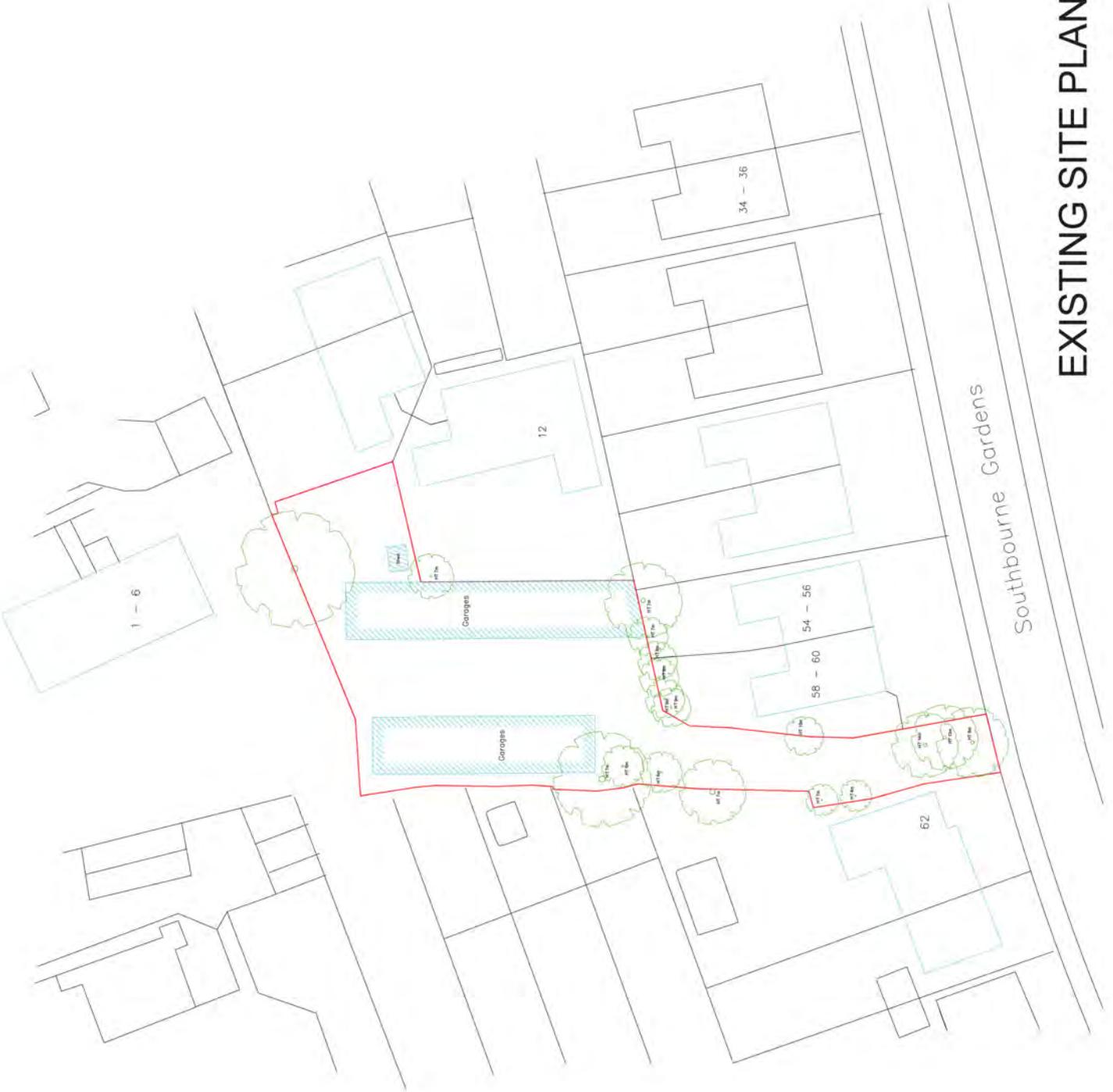
**Date(s) of Amendment(s):**

**Date Application Valid:** 23/06/2020



## Location Plan

*Southbourne Gardens, Ruislip, HA4 9SW*



1:200 @ A1

**Notes:**

Do not scale this drawing.  
Copyright of this drawing belongs to MJJ Architecture.

No copying is permitted without the written consent of the company.

Contractor to inform MJJ Architecture of any discrepancies found on this drawing and obtain written consent for any subsequent variation.

No responsibility is accepted by MJJ Architecture for any consequences arising from unintentional mistakes on this drawing.

MJJ Architecture accepts no responsibility for the structural integrity or stability of the building. Please refer to structural engineer's drawings and calculations for all structural design.

Revision	Date	Description
		<b>m. j. j. architecture</b> 111-14 2A Alford Park, Southall Middlesex, UB5 5QT Tel: 020 8371 5897 Fax: 020 837 42744
Name: <b>Landmark Builders Ltd.</b>		
Site: <b>Garages Site Southbourne Gardens Ruislip HA4 9SW</b>		
Title: <b>Existing Site Plan</b>		
Scale: <b>1:200</b>	Date: <b>Feb. 2020</b>	
on A1 paper		
Drawn by: <b>1547_A1.PL01</b>	Rev:	

**EXISTING SITE PLAN**



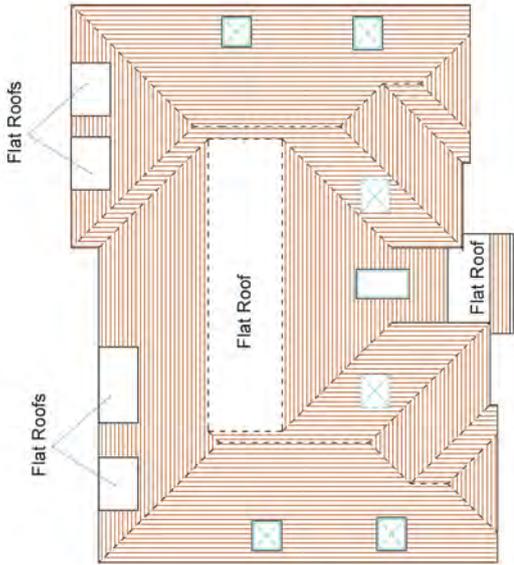
1:200 @ A1

**Notes:**

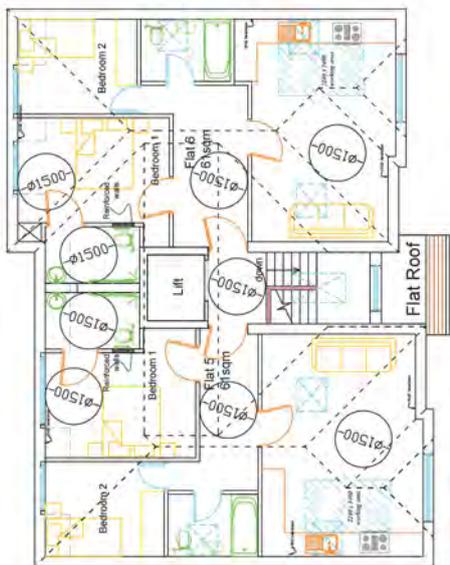
- Do not scale this drawing.
- Copyright of this drawing belongs to MJD Architecture
- No copying is permitted without the written consent of the company.
- Contractor to inform MJD Architecture of any changes to this drawing and obtain written consent for any subsequent variation.
- No responsibility is accepted by MJD Architecture for any consequences arising from unintentional mistakes on this drawing.
- MJD Architecture accepts no responsibility for the structural integrity or stability of the building. Please refer to structural engineer's drawings and calculations for all structural design.

Revision	Date	Description
		<b>m.j.d.architecture</b> 01547 8178 1766 2A Aljeer Road, Southall Middlesex, UB8 3QJ Tel: 01547 8178 1766 Fax: 01547 8178 1766
<b>Name:</b> Landmark Builders Ltd.		
<b>Site:</b> Garages Site Southbourne Gardens Ruislip HA4 9SW		
<b>Title:</b> Proposed Site Plan		
<b>Scale:</b> 1:200 on A1 paper	<b>Date:</b> Feb. 2020	<b>Rev:</b> A
<b>Draw No.:</b> 1547 A1 PL02		

**PROPOSED SITE PLAN**



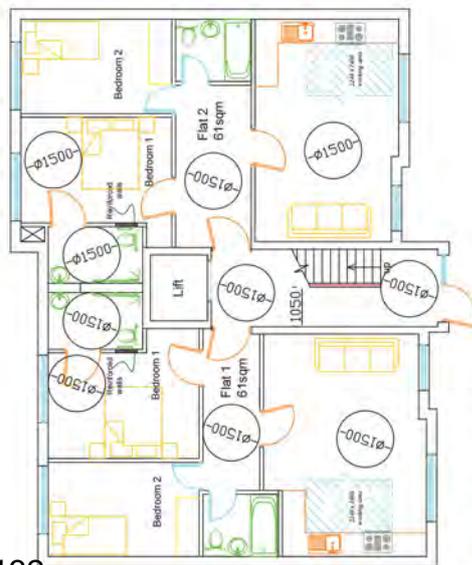
ROOF PLAN



LOFT PLAN



FIRST FLOOR PLAN

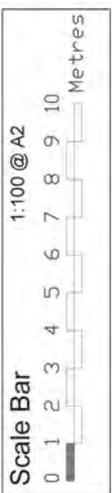


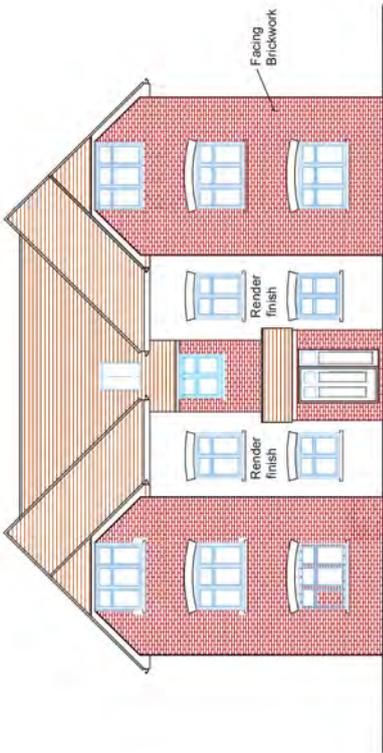
GROUND FLOOR PLAN

**Notes:**

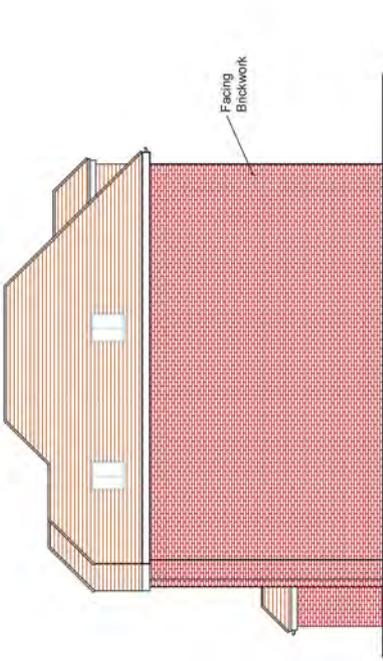
Do not scale this drawing.  
 Copyright of this drawing belongs to MJD Architecture.  
 No copying is permitted without the written consent of the company.  
 Contractor to inform MJD Architecture of any discrepancies found on this drawing and obtain written consent for any subsequent variation.  
 No responsibility is accepted by MJD Architecture for any consequences arising from unintentional mistakes on this drawing.  
 MJD Architecture accepts no responsibility for the structural integrity or stability of the building. Please refer to structural engineer's drawings and calculations for all structural design.

Drawn	Drawn
m.j.d. architecture	
2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100	
t: 01454 811 111 e: info@mjdarch.co.uk m: 07542 811 111	
1547 A2 PL03	
Client	Landmark Builders Ltd.
Site	Garages Site, Southbourne Gardens Ruislip HA4 9SW
File	Proposed Floor and Roof Plans
Scale	1:100
Date	Feb. 2020
Drawn	on A2 paper
Sheet	1547 A2 PL03
Rev	A

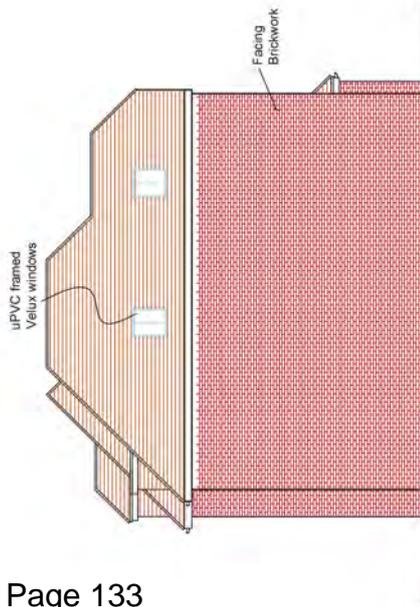




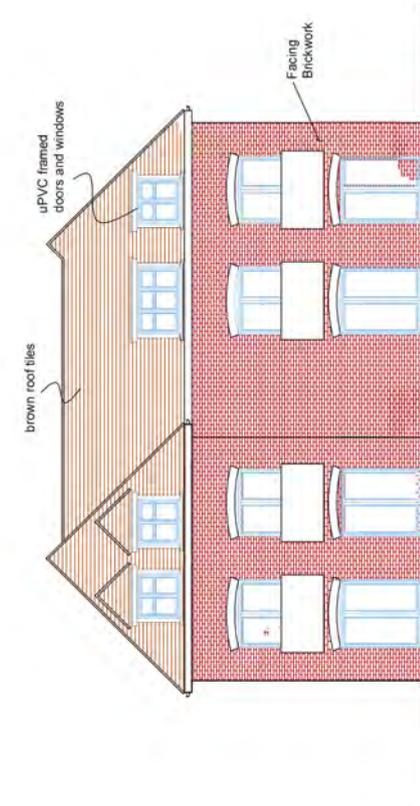
SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

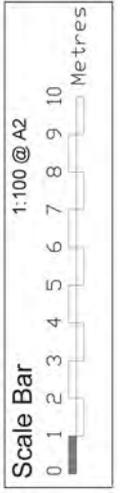


NORTH ELEVATION

**Notes:**

Do not scale this drawing  
 Copyright of this drawing  
 belongs to MJD Architecture.  
 No copying is permitted  
 without the written consent  
 of the company.  
 Contractor to inform MJD Architecture  
 of any discrepancies found on this  
 drawing and obtain written consent for  
 any subsequent variation.  
 No responsibility is accepted by  
 MJD Architecture for any consequences  
 arising from unintentional mistakes  
 on this drawing.  
 MJD Architecture accepts no responsibility  
 for the structural integrity or stability of the building.  
 Plans are for information only and drawings  
 and calculations for all structural design.

Revision	Date	Drawn by
		m.j.d.architecture
		020 8777 9985
		11A Albyrd, The Social
		Widmore, LD35 5QJ
		Tel: 020 8777 9985
		Fax: 020 8777 4274
Name:	Landmark Builders Ltd.	
Site:	Garages Site, Southbourne Gardens Ruislip HA4 9SW	
Title:	Proposed Elevations	
Scale:	1:100	Date: Feb. 2020
File No:	on A2 paper	
File No:	1547.A2.PL04	Rev: A









**Notes:**

 Site boundary

For identification purposes only.  
 This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act).  
 Unless the Act provides a relevant exception to copyright.  
 © Crown copyright and database rights 2020 Ordnance Survey 100019283

Site Address:

**Land at Garage Block  
 Southbourne Gardens,  
 Ruislip**

**LONDON BOROUGH  
 OF HILLINGDON**  
 Residents Services  
 Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 01895 250111

Planning Application Ref:

**72211/APP/2020/1728**

Scale:

**1:1,250**

Planning Committee:

**North Page 136**

Date:

**September 2020**



**HILLINGDON**  
 LONDON

## Report of the Head of Planning, Transportation and Regeneration

**Address** HUME WAY RUISLIP

**Development:** Installation of a 20m monopole, 12 no. antenna apertures, equipment cabinets and ancillary reworks thereto (Application under Part 16 of Schedule 2 to the Town and Country Planning (General Permitted Development) Order 2015 (as amended) for determination as to whether prior approval is required for siting and appearance).

**LBH Ref Nos:** 54873/APP/2020/2457

**Date Plans Received:** 07/08/2020

**Date(s) of Amendment(s):** 07/08/2020

**Date Application Valid:** 07/08/2020

SITE LOCATION



Reproduced by permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationery Office  
All rights reserved. © Crown Copyright licence no. 100036358

SITE AREA PLAN



SITE PHOTOGRAPH



Reproduced by permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationery Office  
All rights reserved. © Crown Copyright licence no. 100036358

Existing: NGR E: 510224 N: 188036  
Proposed: NGR E: 510152 N: 188088

SITE LOCATION PLAN



GOOGLE MAPS QR CODE

GOOGLE MAPS - <https://goo.gl/maps/prVgtsfuhA7Dxxo7A>

GOOGLE STREETVIEW - <https://goo.gl/maps/eTUTM5kjFzj9uuDYA>

NOTES

- ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED
- DIRECTIONS TO SITE:  
FROM THE A4189 RUISLIP, TAKE THE B406 TOWARDS EASTCOTE.  
HUME WAY IS LOCATED ON THE RIGHT HAND SIDE AFTER ABOUT HALF A MILE, ADJACENT TO A SCHOOL AND LEISURE CENTRE.



Number	MBNL / EEL / T&A	Project	Phase of work
M003	MBNL	T&A	Planning
Dates: 14/01/2020 From: K. Syger To: M. Verwood Approved: M. Verwood			
Revision / Update Description: Amends to site topography.			
M002	MBNL	T&A	Planning
Dates: 21/02/2020 From: K. Noverry To: M. Verwood Approved: M. Verwood			
Revision / Update Description: Site Location Change			
M001	MBNL	T&A	Planning
Dates: 01/09/2019 From: R. Manshandan To: M. Verwood Approved: M. Verwood			
Revision / Update Description: First Issue			



Hedges UK Limited  
 1001 Sun Drive International Drive  
 Suite 200, 200 Sun Drive  
 Farnborough, Hampshire  
 AL10 9BW  
 Tel: 01702 716000  
 Fax: 01702 719001  
 www.hedgesuk.com

**MBNL**  
 Mobile Broadband Network Limited  
 5th Floor, Thomas Tower, Station Road, Reading, RG31 1UX



UNIT 10 FITTS CLAYE INDUSTRIAL ESTATE, TAYSTOCK, DRINKWATER, WILTSHIRE  
 Wiltshire, Wiltshire, Wiltshire  
 Tel: +44 (0)1292 618618

Site Name:	HUME WAY
Site ID:	732715
Address:	HUME WAY RUISLIP HILLINGDON LONDON HA4 8DY
TBC:	002 SITE LOCATION PLAN
Project:	T & A
Purpose of Issue:	GENERAL ARRANGEMENT
EEL CRD ID:	70284
MBNL CRD ID:	HGN032
BUK CRD ID:	HA0072
Master Drawing No:	732715_HGN032_70284_HA0072_M003
Issue:	C



**NOTE:**

EXISTING SINGLE PHASE 100A SUPPLY TO BE UPGRADED TO 3 PHASE 100A SUPPLY WITHIN MK5 CABINET. EXISTING BT & TX EQUIPMENT TO BE RELOCATED WITHIN MK5 CABINET

BT TELEGRAPH POLE

LAMP POST

PROPOSED PAVING SLABS INSTALLED AT FOOT OF CABINET DOORS ON GRASS AREA FOR HEALTH AND SAFETY OF WORKERS ON SITE

PROPOSED 1No. MK5 LINK AC CABINET TO BE INSTALLED ON PROPOSED ROOT FOUNDATION

PROPOSED 1No. POGONA CABINET TO BE INSTALLED ON PROPOSED ROOT FOUNDATION

PROPOSED 1No. AP1M5930 CABINET TO BE INSTALLED ON PROPOSED ROOT FOUNDATION

PROPOSED 2No. HUAWEI CABINETS TO BE INSTALLED ON PROPOSED ROOT FOUNDATION

PROPOSED 12No. ANTENNA APERTURES TO BE INSTALLED ON PROPOSED STREETWORKS MONOPOLE

PROPOSED 20m HIGH STREETWORKS MONOPOLE TO BE INSTALLED APPROXIMATELY 85.5m FROM THE EXISTING LOCATION AT NGR E: 510152 N: 188088

PROPOSED DIPLEXER CABINET TO BE INSTALLED ON PROPOSED ROOT FOUNDATION

PROPOSED 1No. HUAWEI CABINET TO BE INSTALLED ON PROPOSED ROOT FOUNDATION

PROPOSED 1No. WILTSHIRE CABINET TO BE INSTALLED ON PROPOSED ROOT FOUNDATION

ELEVATION A

HUME WAY

PROPOSED MAX CONFIGURATION SITE PLAN



SITE CAPACITY & LEAD OPERATOR			
A	B	C	LEAD
H52	H52	H52	H52
			H52

Address ID	Proposed Aperture	Operator
A1	0"	H52
A2	0"	EE
A3	0"	EEH5G
A4	0"	EEH5G
B1	120"	H52
B2	120"	EE
B3	120"	EEH5G
B4	120"	EEH5G
C1	240"	H52
C2	240"	EE
C3	240"	EEH5G
C4	240"	EEH5G

NOTES

1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED

Number	MBNL / E.I. / H52	Project	Programme of Works	Issue
M003	MBNL	T&A	Planning	C
Date:	14/04/2020	Revision / Description:		
Drawn:	K. Sygar	Approved to site topography		
Checked:	M. Vercoe			
M002	MBNL	T&A	Planning	B
Date:	21/02/2020	Revision / Description:		
Drawn:	K. Naven	Site Location Change		
Checked:	M. Vercoe			
M001	MBNL	T&A	Planning	A
Date:	01/09/2019	Revision / Description:		
Drawn:	R. Mairandani	First Issue		
Checked:	M. Vercoe			



**MBNL**  
Mobile Broadband Network Limited  
Suite Four, Thomas Tower, Station Road, Reading, RG1 1UX  
Tel: 01753 716000  
Fax: 01753 719001



Site Name: HUME WAY  
Site ID: 732715  
Address: HUME WAY  
RUISLIP  
HILLINGDON  
LONDON  
HA4 8DY

Project: T & A

Task: 216 MAX CONFIGURATION SITE PLAN - SHEET 2

Purpose of Issue: GENERAL ARRANGEMENT

MBNL CR ID	HGN032	BUK CR ID	HA0072
MBNL CR ID	70284	BUK CR ID	HA0072

Master Drawing No: 732715\_HGN032\_70284\_HA0072\_M003  
Issue: C



**NOTE:**  
 EXISTING SINGLE PHASE 100A SUPPLY TO BE UPGRADED TO  
 3 PHASE 100A SUPPLY WITHIN MK5 CABINET. EXISTING BT &  
 TX EQUIPMENT TO BE RELOCATED WITHIN MK5 CABINET

BT TELEGRAPH POLE

LAMP POST

ELEVATION A

HUME WAY

PROPOSED MAX CONFIGURATION SITE PLAN



Address ID	Proposed Aperture	Operator Bearing	4G/5G	EH/EG
A1	0"	0°	HGG	EE
A2	0"	0°	EE	EE
A3	0"	0°	EE/HGG	EE/HGG
A4	0"	0°	EE/HGG	EE/HGG
B1	100"	100°	HGG	HGG
B2	100"	100°	EE	EE
B3	100"	100°	EE/HGG	EE/HGG
B4	100"	100°	EE/HGG	EE/HGG
C1	240"	240°	HGG	HGG
C2	240"	240°	EE	EE
C3	240"	240°	EE/HGG	EE/HGG
C4	240"	240°	EE/HGG	EE/HGG

**NOTES:**  
 1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED

Number	MBNL / EE / HGG	Project	Purpose of Issue	Issue
M003	MBNL	T&A	Planning	C
Date:	14/04/2020	Revision / Upgrade Description:		
Drawn:	K. Singer	Amends to site topography		
Checked:	M. Verrill			

Number	MBNL / EE / HGG	Project	Purpose of Issue	Issue
M002	MBNL	T&A	Planning	B
Date:	21/02/2020	Revision / Upgrade Description:		
Drawn:	K. Naveen	Site Location Change		
Checked:	M. Verrill			

Number	MBNL / EE / HGG	Project	Purpose of Issue	Issue
M001	MBNL	T&A	Planning	A
Date:	01/05/2019	Revision / Upgrade Description:		
Drawn:	R. Manthandan	First Issue		
Checked:	M. Verrill			



Headline 10 UK Limited  
 200000, 200000 Road  
 Hillside  
 Herts  
 AL10 9BW  
 Tel: 01702 716000  
 Fax: 01702 719001

**MBNL** Mobile Broadband Network Limited  
 South Point, Thomas Tower, Station Road, Reading, RG1 1LX



UNIT 10 FTTS CLEAN INDUSTRIAL ESTATE, TAYSTOCK, DRUCK, PL 19 0RY  
 www.beaconcomms.co.uk  
 Tel: +44 (0)1823 618110

Site Name: HUME WAY  
 Site ID: 732715  
 Address: HUME WAY  
 RUISLIP  
 HILLINGDON  
 LONDON  
 HA4 8DY

TRM: 216 MAX CONFIGURATION SITE PLAN -  
 SHEET 2  
 Project: T & A

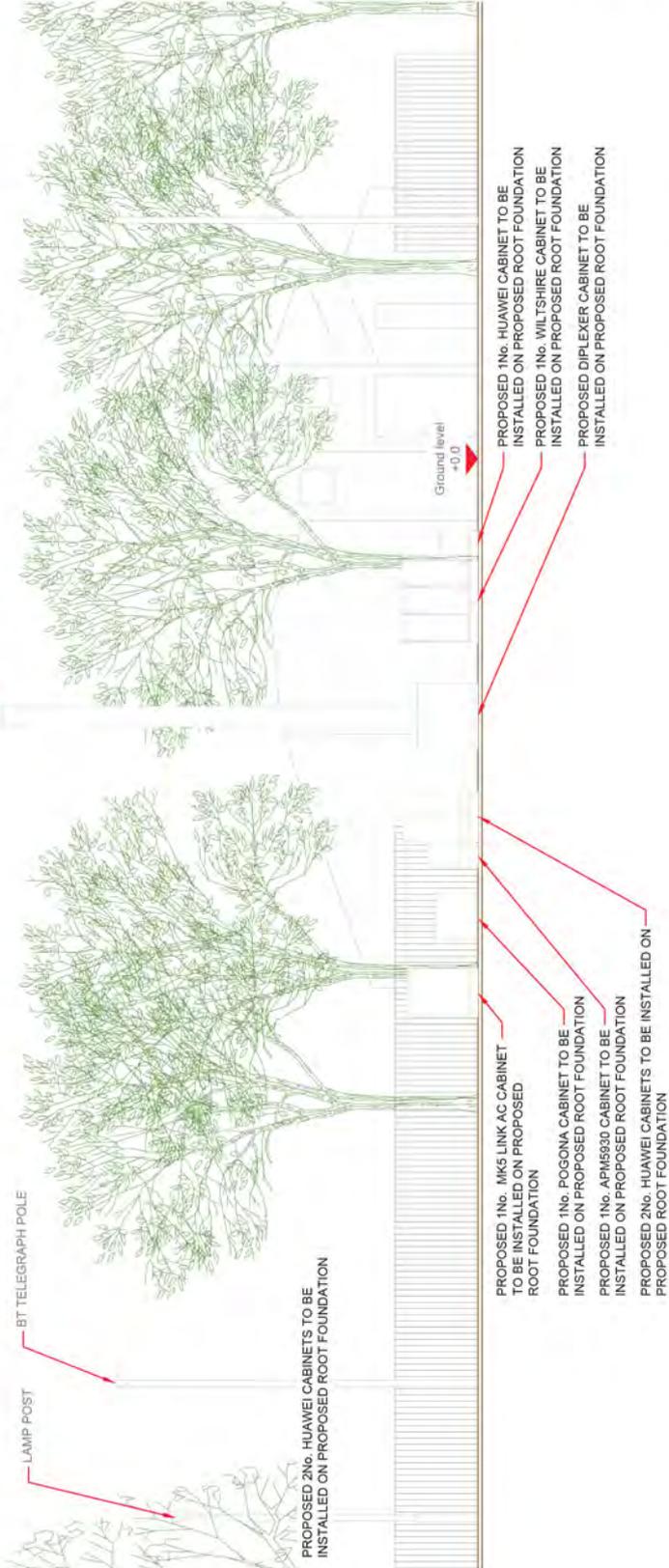
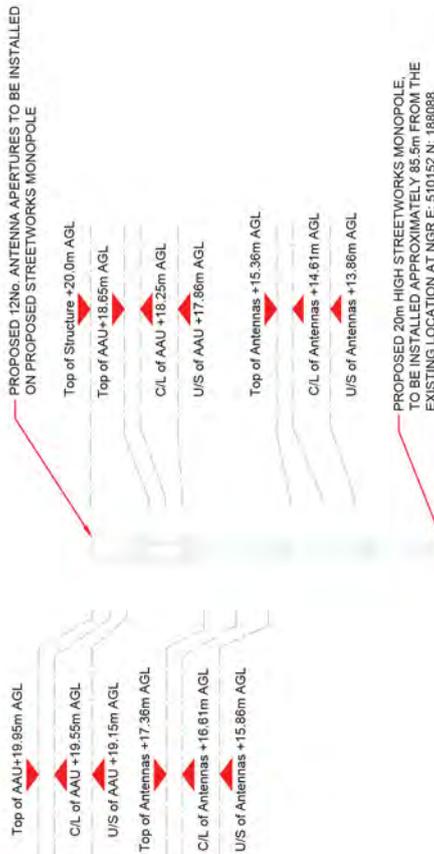
Purpose of Issue: GENERAL ARRANGEMENT

EE CR ID:	MBNL CR ID:	BUK CR ID:	Issue:
70284	HGN032	HA0072	C

SITE CAPACITY & LEAD OPERATOR				
A	B	C	LEAD	HGG
HSG	HSG	HSG		

**NOTE:**  
 EXISTING SINGLE PHASE 100A SUPPLY TO BE UPGRADED TO 3 PHASE 100A SUPPLY WITHIN MK5 CABINET. EXISTING BT & TX EQUIPMENT TO BE RELOCATED WITHIN MK5 CABINET

Antenna Aperture ID	Proposed Bearing	Operator
A1	0°	H3G
A2	0°	EE
A3	0°	EE/H3G
A4	0°	EE/H3G
B1	120°	H3G
B2	120°	EE
B3	120°	EE/H3G
B4	120°	EE/H3G
C1	240°	H3G
C2	240°	EE
C3	240°	EE/H3G
C4	240°	EE/H3G



**PROPOSED MAX CONFIGURATION ELEVATION**



SITE CAPACITY & LEAD OPERATOR	
A	HS2
B	HS2
C	HS2
LEAD	H3G

**NOTES:**  
 1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED

Number	MBNL / EIR / ILS	Project	Phase of work
M003	MBNL	T&A	Planning
Dates: 14/01/2020 Revision / Upgrade Description: K. Sygier Amends to site topography Drawn: M. Verwoerd Checked: M. Verwoerd			
M002	MBNL	T&A	Planning
Dates: 21/02/2020 Revision / Upgrade Description: K. Nansen Site Location Change Drawn: M. Verwoerd Checked: M. Verwoerd			
M001	MBNL	T&A	Planning
Dates: 01/09/2019 Revision / Upgrade Description: R. Mandandan First Issue Drawn: M. Verwoerd Checked: M. Verwoerd			

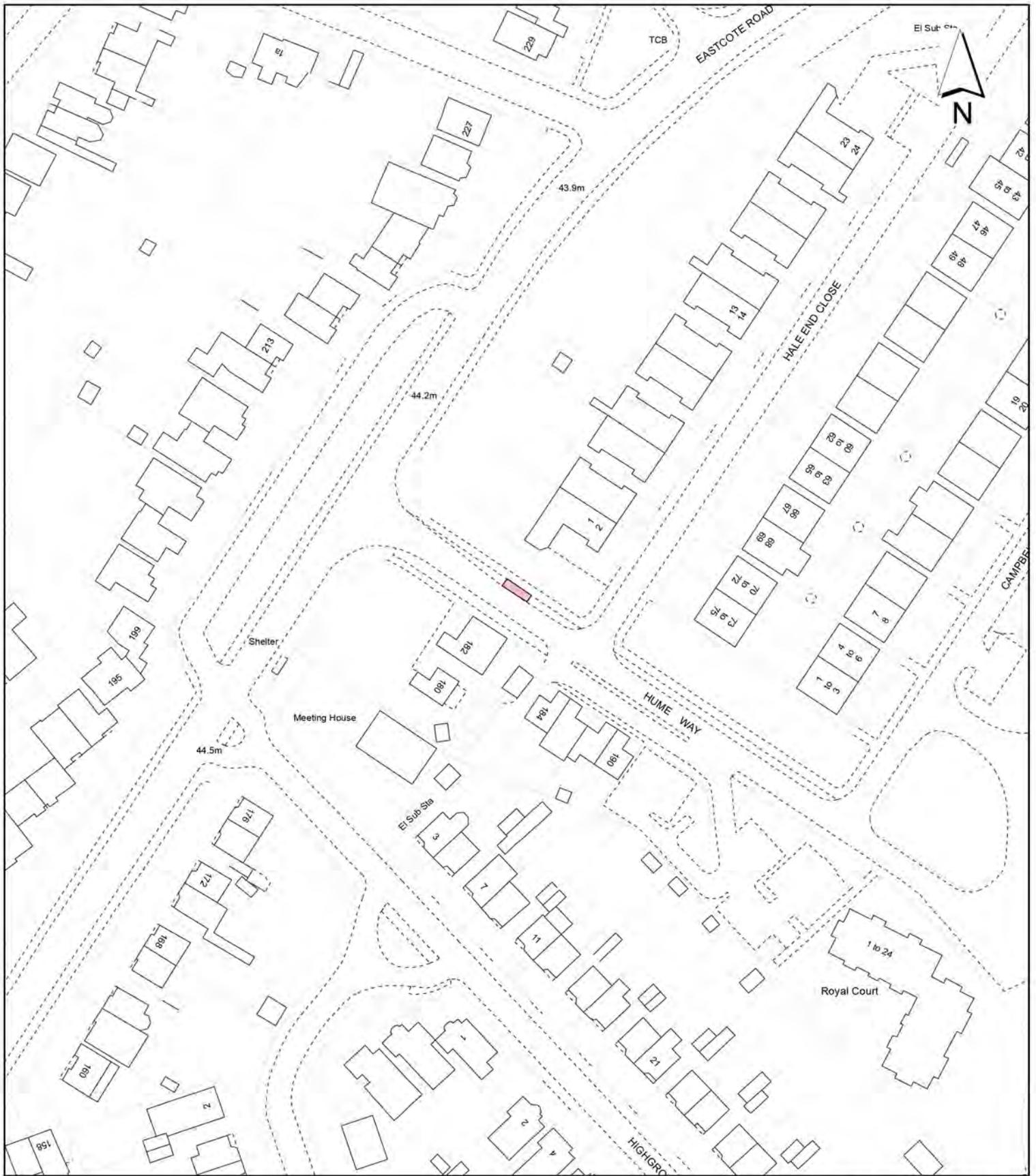


**MBNL**  
 Mobile Broadband Network Limited  
 5th Floor, Business Tower, Station Road, Reading, RG31 1UX

**BEACONCOMMS**  
 UNIT 11 FITTS CLARE INDUSTRIAL ESTATE, TAVISTOCK, DEVON, PL19 9PW  
 Tel: +44 (0)1822 618610

Site Name:	HUME WAY
Site ID:	732715
Address:	HUME WAY RUISLIP HILLINGDON LONDON HA4 8DY
Title:	266 MAX CONFIGURATION ELEVATION - SHEET 2
Project:	T & A
Purpose of Issue:	GENERAL ARRANGEMENT
EE CR ID:	70284
MBNL CR ID:	HGN032
UK CR ID:	HA0072
Master Drawing No.:	732715_HGN032_70284_HA0072_M003
Issue:	C





**Notes:**

 Site boundary

For identification purposes only.  
 This copy has been made by or with the authority of the Head of Committee Services pursuant to section 47 of the Copyright, Designs and Patents Act 1988 (the Act).  
 Unless the Act provides a relevant exception to copyright.  
 © Crown copyright and database rights 2020 Ordnance Survey 100019283

Site Address:

**Hume Way, Ruislip**

**LONDON BOROUGH OF HILLINGDON**  
**Residents Services Planning Section**

Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 01895 250111

Planning Application Ref:

**54873/APP/2020/2457**

Scale:

**1:1,250**

Planning Committee:

**North Page 143**

Date:

**September 2020**



**HILLINGDON**  
 LONDON

This page is intentionally left blank